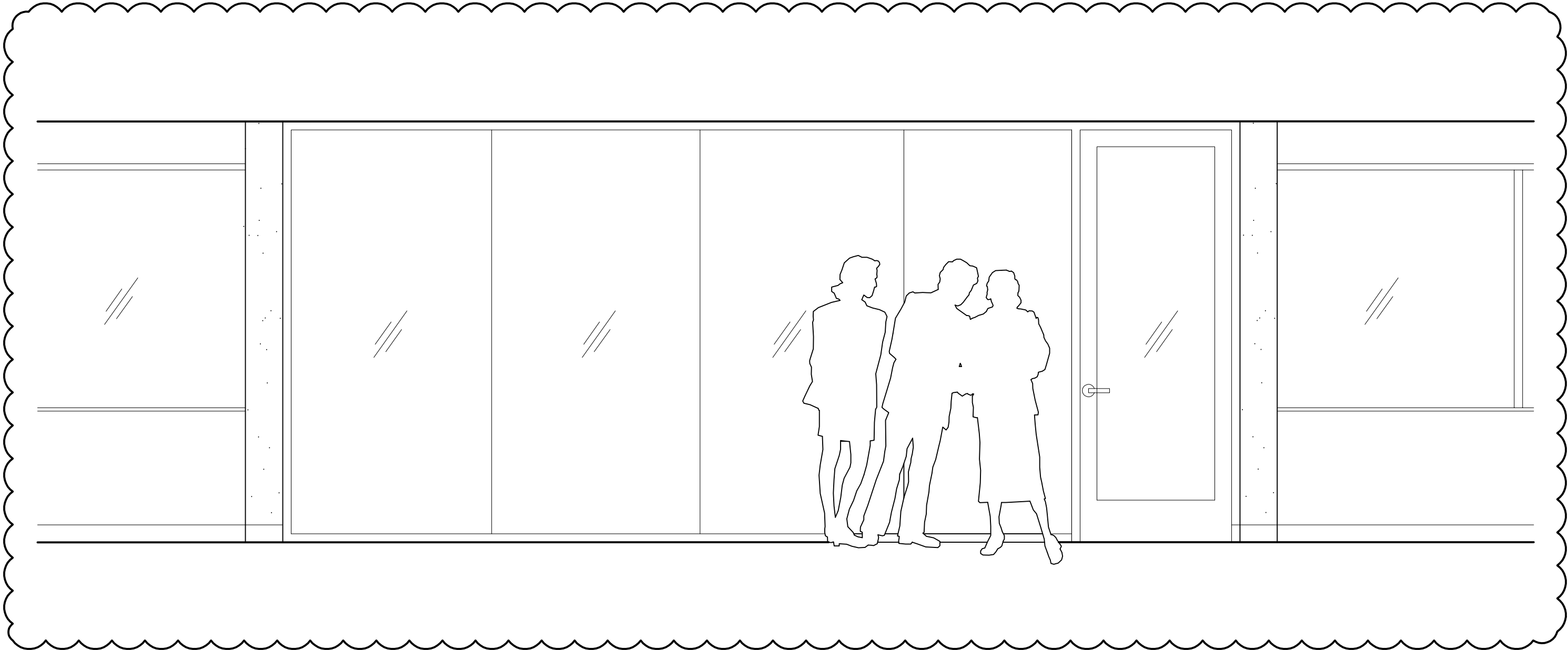


UNIVERSITY OF
COLORADO DENVER

CU DENVER BUILDING
3RD FLOOR
1250 14TH STREET
DENVER, COLORADO 80202

CU DEN BLDG 3RD RENO RESEARCH SPACE
21-116150



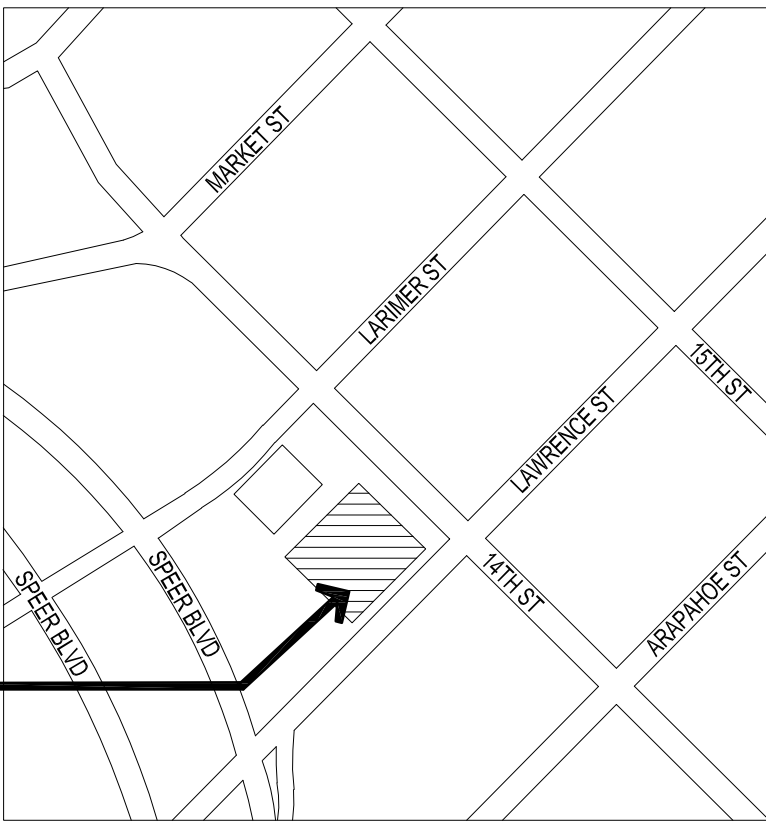
THIRD FLOOR RENOVATION | SUITE 300

CU Denver Building

FOR BID SET - ADDENDUM #2

MAY 28, 2021

VICINITY MAP:



PROJECT
LOCATION

ADD ALTERNATES:

THE LISTED ADD ALTERNATES ARE THE SAME AS SHEET A-101.
LISTED FOR CONVENIENCE

1. FINISHED CONCRETE FLOOR: DO NOT PROVIDE CARPET IN LIEU GRIND SLAB TO SALT AND PEPPER POLISH / FINISH. UNCOLORED GROUT TO FILL PIN HOLES.
2. PROVIDE & PERFORM WORK TO ADD CONFERENCE/MEETING ROOMS 300C, 300D, & 300E.

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PH: 303.788.1717
mbowers@archshop.com

MEP
ENGINEERS: BG BUILDINGWORKS, INC
1626 COLE BLVD, SUITE 300
LAKEWOOD, COLORADO 8040
CONTACT: MIKE REED
PH: 303.278.3820 X5226
mreed@bgbuildingworks.com

DRAWING INDEX:

- G-001 COVER SHEET, CONTACTS, DRAWING INDEX
- G-002 GENERAL NOTES, ABBREVIATIONS, SYMBOLS, BUILDING CODE
- AD-101 DEMOLITION PLANS
- A-101 FLOOR AND CEILING PLANS
- A-102 FINISH PLAN
- A-201 INTERIOR ELEVATIONS
- A-501 DETAILS
- A-601 DOOR SCHEDULE

- M-000 MECHANICAL COVER SHEET
- MD-100 THIRD LEVEL MECHANICAL DEMOLITION PLAN
- M-100 THIRD LEVEL MECHANICAL PLANS

- E-000 ELECTRICAL COVER SHEET
- ED-100 THIRD LEVEL ELECTRICALDEMOLITION PLAN
- E-100 THIRD LEVEL ELECTRICAL POWER & LIGHTING PLANS
- E-300 ELECTRICAL ONE-LINE DIAGRAM
- E-400 ELECTRICAL DIAGRAMS AND SCHEDULES

SEPARATE PRICING:

THE CONTRACTOR SHALL PROVIDE SEPARATE PRICING FOR THE WELLNESS ROOM [310B]. THE UNIVERSITY HAS A SEPARATE FUNDING SOURCE FOR THIS WORK AND WILL NEED TO TRACK COSTS OF THE WELLNESS ROOM [310B] INDEPENDENT OF THE BASE AND ALTERNATE WORK BEING DONE ON THE THIRD FLOOR.

THE WELLNESS ROOM [310B] WORK WILL BE DONE IN CONJUNCTION WITH THE BASE BID THIRD FLOOR WORK.



DATE	DESCRIPTION
02-05-21	100% CONSTRUCTION DOCUMENTS
04-15-21	FOR CONSTRUCTION SET
04-30-21	FOR BID
05-17-21	ADDENDUM #1
05-28-21	ADDENDUM #2

DRAWN BY: HMM, KS CHECKED BY: MAB
PROJECT: 2049CU INITIAL DATE: DEC 2020

COVER SHEET, CONTACTS,
DRAWING INDEX

G-001

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ABBREVIATIONS:

A.F.F.	ABOVE FINISH FLOOR	MFR	MANUFACTURER
A.C.T.	ACOUSTIC CEILING TILES	MATL	MATERIAL
ADJ.	ADJUSTABLE	MAX	MAXIMUM
AL	ALUMINUM	MECH	MECHANICAL
ALT	ALTERNATE	MTL/MET	METAL
@	AT	MIN	MINIMUM
B.M.	BENCH MARK	MISC	MISCELLANEOUS
BLK	BLOCK	NONCOM	NON-COMBUSTIBLE
BD	BOARD	N.I.C.	NOT IN CONTRACT
BLDG	BUILDING	N.T.S.	NOT TO SCALE
CPT	CARPET	NO.	NUMBER
CLK	CAULKING	OFF	OFFICE
CLG	CEILING	O.C.	ON CENTER
CTR	CENTER	OPG	OPENING
C.T.	CERAMIC TILE	OPH	OPPOSITE HAND
CLR	CLEAR	O.T.S.	OPEN TO STRUCTURE
COL	COLUMN	PNT	PAINTED/PAINT
CONC	CONCRETE	PTN	PARTITION
CONST	CONSTRUCTION	PL	PLASTER
CJ	CONTROL JOINT	PLT	PLATE
CONT	CONTINUOUS/CONTINUE	PLWD	PLYWOOD
CONTR	CONTRACTOR	PM	PROJECT MANAGER
CORR.	CORRIDOR	PREFIN	PREFINISHED
C.U.H.	CABINET UNIT HEATER	PRELIM	PRELIMINARY
DET/DTL	DETAIL	RAD	RADIUS
DIA	DIAMETER	RECP	RECEPTACLE
DIM	DIMENSION	REF	REFERENCE
DN	DOWN	REINF	REINFORCE
D.S.	DOWN SPOUT	REQD	REQUIRED
DWG	DRAWING	RM	ROOM
D.F.	DRINKING FOUNTAIN	SAN	SANITARY
ELEC	ELECTRICAL	SCH	SCHEDULE
ELEV	ELEVATION	SECT.	SECTION
EQ	EQUAL	SHT	SHEET
EQUIP	EQUIPMENT	SIM	SIMILAR
EXH.	EXHAUST	S.D	SMOKE DETECTOR
EXIST	EXISTING	SPR	SPRINKLER
E.J.	EXPANSION JOINT	SF	SQUARE FOOT
EXT	EXTERIOR	S.S.	STAINLESS STEEL
FT	FEET	STD	STANDARD
FIN	FINISH	STL	STEEL
F.F.	FINISH FLOOR	STOR	STORAGE
F.A.P.	FIRE ALARM PANEL	STR	STRUCTURAL
F.E.	FIRE EXTINGUISHER	SUSP	SUSPENDED
F.E.C.	FIRE EXTINGUISHER CABINET	SYM	SYMMETRIC
FL	FLOOR/FLOOR LINE	TEL	TELEPHONE
F.D.	FLOOR DRAIN	T.O.C.	TOP OF CONCRETE
FM	FACILITY MANAGEMENT	T.O.D.	TOP OF DECK
GALV.	GALVANIZED	T.O.M.	TOP OF MASONRY
GA	GAUGE	T.O.S.	TOP OF STEEL
GEN	GENERAL	TYP	TYPICAL
G.C.	GENERAL CONTRACTOR	UCD	UNIVERSITY OF COLORADO DENVER
GYP. BD.	GYPSUM BOARD	UC	UNDER COUNTER
HT	HEIGHT	UNFIN	UNFINISHED
H.M.	HOLLOW METAL	U.N.O.	UNLESS NOTED OTHERWISE
IN	INCH	V.I.F.	VERIFY IN FIELD
INSUL	INSULATION	VERT	VERTICAL
INT.	INTERIOR	V.C.T.	VINYL COMPOSITION TILE
JAN	JANITOR	W.C.	WATER CLOSET
JT	JOINT	W/	WITH
LAB	LABORATORY	W/O	WITH OUT
LAM	LAMINATE	WD	WOOD
LF	LINEAL FOOT		

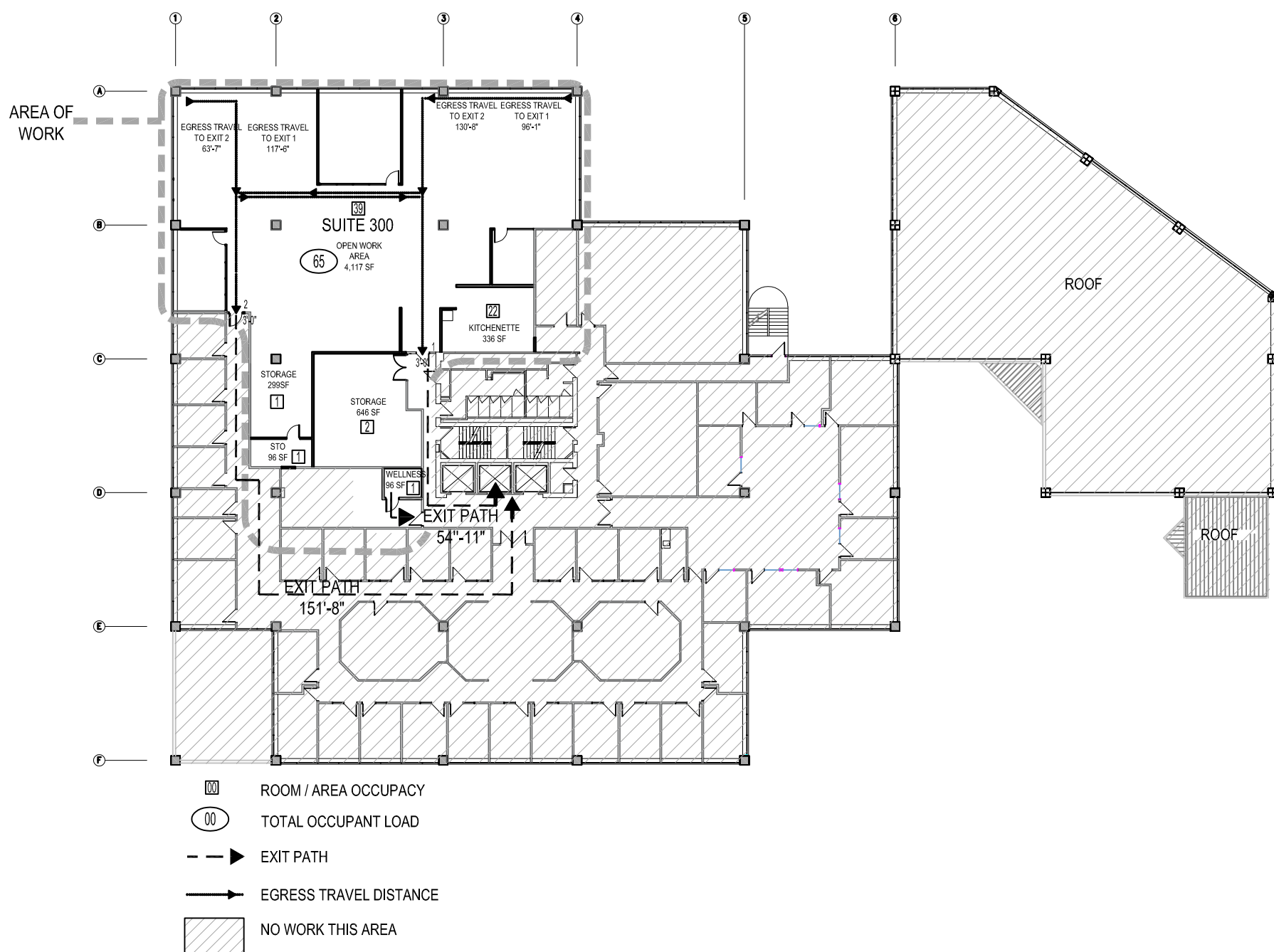
SYMBOLS:

	COLUMN GRID		KEY NOTE NUMBER
			ACCESSORIES & EQUIPMENT TAG
	DETAIL NUMBER DETAIL 5 ON SHEET A8.2		HIDDEN LINE/OBJECTS ABOVE SOFFITS, CABINETS, HIGH WINDOWS
	WALL SECTION 1 DETAIL DETAIL 1 ON SHEET A5.3		FURNITURE/EQUIPMENT BY OWNER
	DETAIL BUBBLE DETAIL 8 ON SHEET A6.2		MEANS OF EGRESS AND EXIT DISCHARGE
	INTERIOR ELEVATION DRAWING 4 ON SHEET A7.2		NO WORK THIS AREA
8 TITLE			
	DRAWING TITLE AND NUMBER		
	NORTH ARROW		
	ROOM NAME AND NUMBER		
	FLOOR TRANSITION TAG		
	ELEVATION MARKER		
	WALL TYPE NUMBER		
	WINDOW DESIGNATION		
	DOOR NUMBER		

GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DEMOLITION WITH NEW WORK REQUIREMENTS AND REFER TO THE PROJECT MANUAL FOR ALL PATCHING AND FINISHING REQUIREMENTS
- PERMITS: CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL INSPECTIONS, SIGNATURES AND SIGN-OFFS AS REQUIRED
- SITE EXAMINATION: GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT AND EXAMINE THE SITE AND BUILDING IN EVERY DETAIL AS IT PERTAINS TO THE PROJECT PRIOR TO SUBMITTING A BID PROPOSAL
- DISCREPANCIES: ANY DISCREPANCIES DISCOVERED BY THE GENERAL CONTRACTOR OR BY THE SUBCONTRACTORS, BETWEEN DIMENSIONS, OR CONFLICTS UNFOUNDED PREVIOUSLY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION
- BUILDING CODE COMPLIANCE: PERFORM ALL WORK TO COMPLY WITH APPLICABLE BUILDING CODES AND REGULATIONS. FOR BUILDING CONDITIONS THAT ARE NOT CONSTRUCTED TO MEET CURRENT BUILDING CODES, THE GENERAL CONTRACTOR IS TO PROVIDE ALTERNATE PRICING TO BRING ITEMS INTO CODE COMPLIANCE
- LONG LEAD ITEMS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THE PROJECT SCHEDULE AND DEADLINES, AND FOR ADVISING THE ARCHITECT FOR ALL LONG LEAD ITEMS. ORDER CONFIRMATION SHALL BE SUBMITTED WITH DELIVERY DATES. PROVIDE LEAD TIME ESTIMATES WITH ANY BID PROPOSALS. IT SHALL BE AT THE GENERAL CONTRACTORS EXPENSE IF ANY LONG LEAD ITEMS ARE DISCOVERED AFTER THE PROJECT BEGINS
- CLEAN UP: CLEANING OF GC EQUIPMENT SHALL BE LIMITED TO AREAS DESIGNATED BY THE BUILDING MANAGER. TRASH SHALL BE REMOVED AND SWEEPING/VACUUMING SHALL BE PROVIDED ON A CONTINUING BASIS THROUGHOUT THE CONSTRUCTION PROCESS. FINAL CLEANING SHALL BE PROVIDED BY THE CONTRACTOR
- PROTECTION OF EXISTING ITEMS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING CONSTRUCTION ON AND OFF SITE, AND SHALL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY GENERAL CONTRACTOR OR ANY OF ITS SUBCONTRACTORS
- FIRE RATED ASSEMBLIES: ALL PENETRATIONS THROUGH FIRE RESISTIVE CONSTRUCTION SHALL BE CAULKED OR OTHERWISE SEALED WITH AN APPROVED FIRE SEALANT ASSEMBLY TO MAINTAIN THE REQUIRED AND/OR EXISTING FIRE RATINGS
- GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO COORDINATE WITH THE UNIVERSITY PROJECT MANAGER FOR HOURS OF OPERATION, ALLOWABLE CONSTRUCTION TIMES AND CONSTRUCTION ACTIVITIES. THE G.C. SHALL ASSUME ALL RESPONSIBILITY FOR ALL SUB-CONTRACTORS; THE G.C. SHALL BE RESPONSIBLE TO OBTAIN SECURITY KEY CARDS FOR ACCESS TO THE BUILDING AND TO THE FLOOR
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE DUMPSTER. THE G.C. SHALL COORDINATE WITH THE UNIVERSITY PROJECT MANAGER FOR LOCATION AND ALLOWABLE SIZE; THE G.C. IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS FOR DUMPSTER PER CITY REGULATIONS; CONTRACTOR SHALL DISPOSE OF ALL DEBRIS LAWFULLY
- ROOM NUMBERS ARE FOR REFERENCE AND CONSTRUCTION AND ARE NOT THE FINAL ROOM NUMBERS FOR ROOM SIGNAGE; ROOM NUMBERING TO BE COORDINATED WITH THE UNIVERSITY

BUILDING CODE:



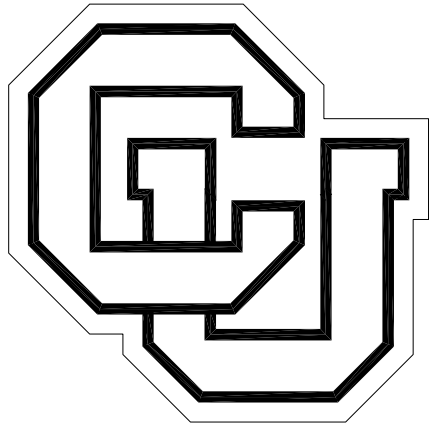
PROJECT DESCRIPTION:
THE COLLEGE OF ARCHITECTURE AND PLANNING NEEDS TO MODIFY THE THIRD FLOOR RESEARCH LAB SUITE. THE RENOVATIONS FOR SUITE 300 ARE: CREATE A CONFERENCE ROOM, KITCHENETTE, TWO SMALL HUDDLE ROOMS, STORAGE AREAS AND A LIBRARY FOR DONATED MATERIAL WITHIN THE SUITE.

BUILDING ADDRESS:	CU DENVER BUILDING 1250 14TH STREET DENVER, COLORADO 80202
BUILDING HEIGHT (# OF STORIES):	8 STORIES (NO CHANGE FROM EXISTING)
SPRINKLER SYSTEM:	FULLY (AS PER IBC CH 9 - NO CHANGE)
BUILDING CONSTRUCTION:	TYPE II-B (NO CHANGE FROM EXISTING)
OCCUPANCY GROUP:	B (NO CHANGE FROM EXISTING)
CODE:	2018 IBC
CONSTRUCTION AREA:	6,924 GSF
TOTAL FLOOR AREA:	3RD FLOOR TOTAL AREA = 21,7289 GSF
OCCUPANT LOAD:	TOTAL OCCUPANT LOAD = 65 B = 39 OCCUPANTS A = 22 OCCUPANTS S = 4 OCCUPANTS TWO EXITS REQUIRED TWO EXITS PROVIDED

303.1.2 SMALL ASSEMBLY SPACES: THE FOLLOWING ROOMS AND SPACES SHALL NOT BE CLASSIFIED AS ASSEMBLY OCCUPANCIES:
A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.
A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET (70 M2) IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

1009.3.3, EXCEPTION 2 - AREA OF REFUGE NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

TABLE 1020.1 - 1-HOUR CORRIDOR NOT REQUIRED FOR B OCCUPANCY WITH SPRINKLER SYSTEM



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21-116150

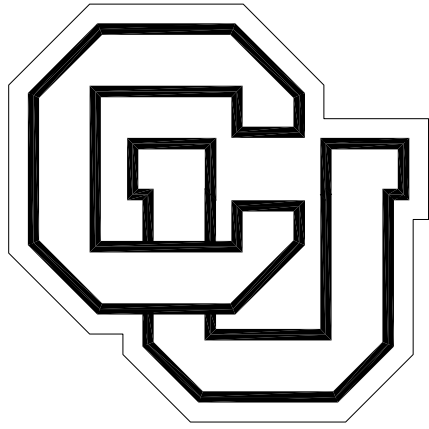


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05-17-21	ADDENDUM #1
05-28-21	ADDENDUM #2

DRAWN BY: HMH, KS CHECKED BY: MAB
PROJECT: 2049CU INITIAL DATE: DEC 2020

GENERAL NOTES, ABBREVIATIONS, SYMBOLS, BUILDING CODE

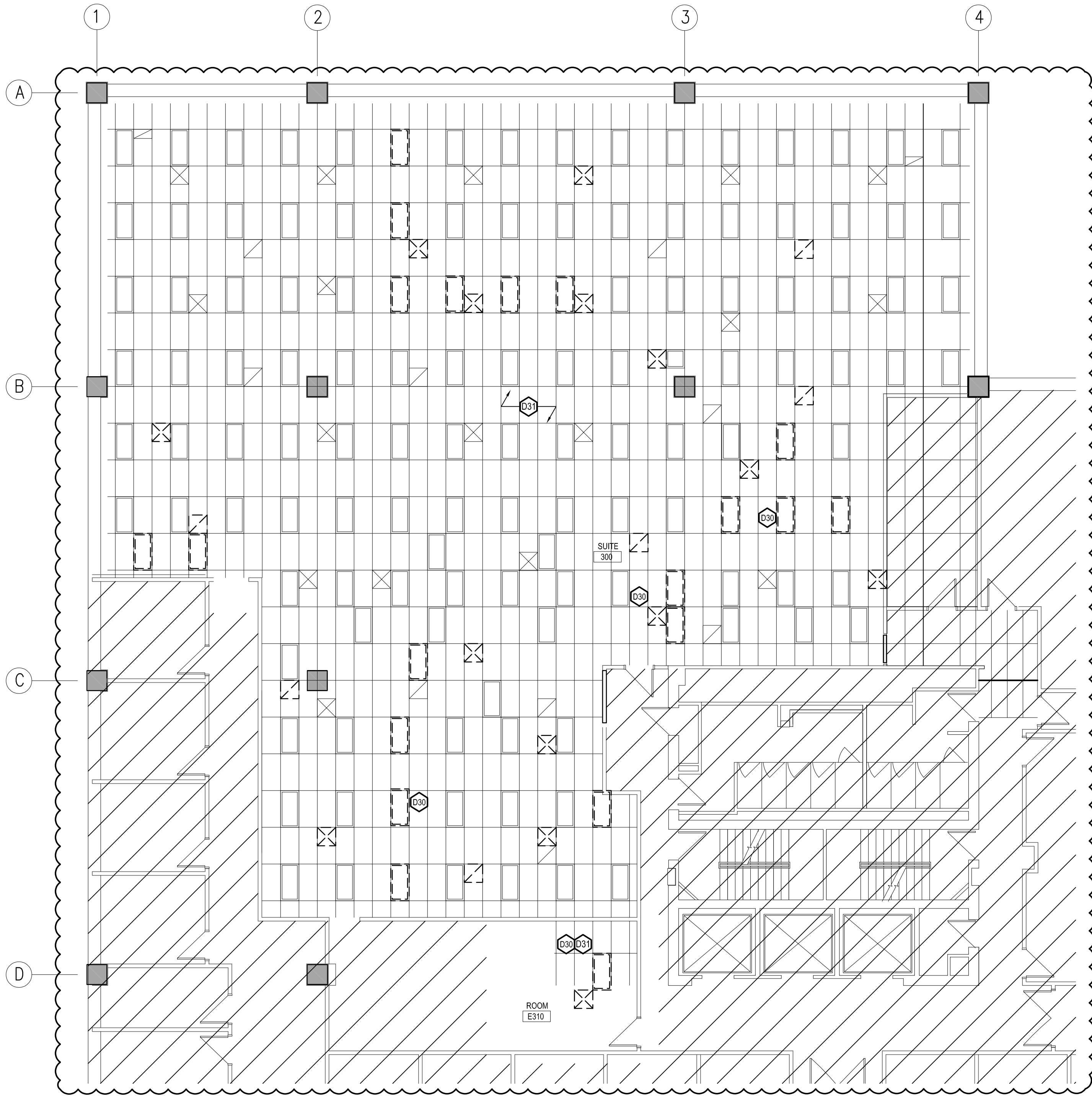
G-002



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2 DEMOLITION RCP | 3

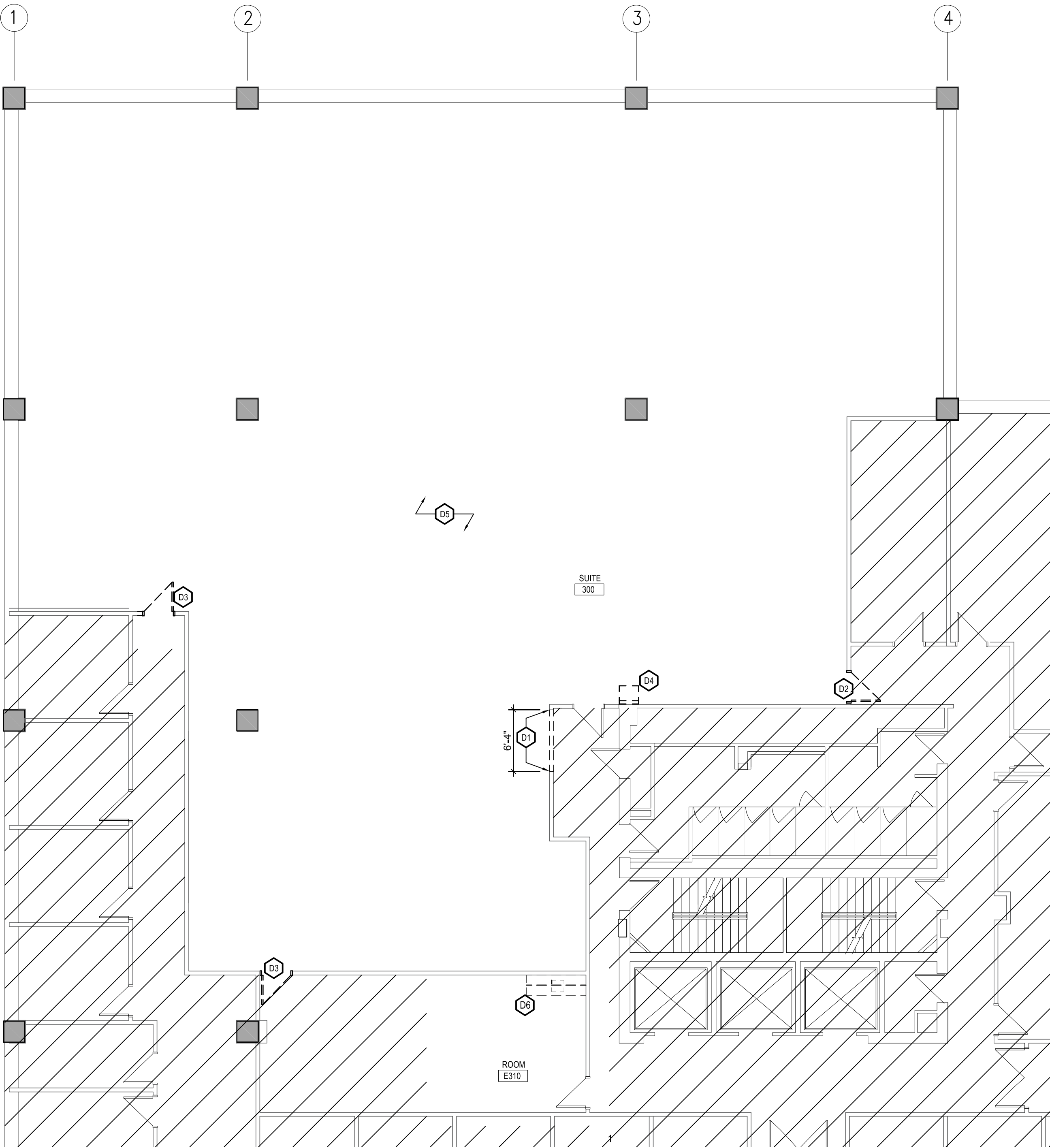
1/8" = 1'-0"



DEMO RCP KEY NOTES:

D30 DEMO, REMOVE AND DISPOSE OF EXISTING 2X4 LIGHT FIXTURES AS INDICATED. SALVAGE AND REUSE LIGHT FIXTURES AS INDICATED ON CEILING PLAN; REFER TO ELECTRICAL DRAWINGS FOR ALL RELATED INFORMATION.

D31 CAP (OWNER) WILL REMOVE CEILING TILE & RE-INSTALL NEW CEILING TILE. OWNER WILL BE RESPONSIBLE FOR ORDERING REPLACEMENT CEILING TILE. OWNER WILL BE RESPONSIBLE FOR INSTALLING NEW LIGHT BULBS AND LENSES TO EXISTING LIGHTING FIXTURES.



1 DEMOLITION PLAN | 3

1/8" = 1'-0"



DEMO KEY NOTES:

- D1 DEMO AND REMOVE EXISTING GYP BD WALL
- D2 DEMO AND SALVAGE EXISTING DOOR, FRAME AND HARDWARE FOR INSTALL AT NEW LOCATION
- D3 DEMO AND REMOVE DOOR AND FRAME; RETURN HARDWARE TO OWNER
- D4 DEMO AND REMOVE UTILITY SINK; EXISTING PLUMBING TO REMAIN IN PLACE AND MODIFIED FOR NEW FIXTURES
- D5 CAP (OWNER) RESPONSIBLE FOR REMOVAL OF EXISTING CARPET. GC RESPONSIBLE FOR SCRAPING OR PREP FLOOR FOR NEW SURFACE; POLISHED CONCRETE OR CARPET INSTALLATION; REFER TO FINISH PLAN
- D6 DEMO AND DISPOSE OF CABINET AND COUNTER. DEMO PLUMBING AND PREP. RE: PLUMB DWG.

LEGEND:

- NO WORK
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING WALLS TO BE DEMO'D
- CABINET / CASEWORK
- CABINET / CASEWORK / LINE ABOVE
- NEW CONSTRUCTION
- WINDOW
- DEMO'D / RELOCATED DOOR
- EXISTING DOOR TO REMAIN

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ANY DISCREPANCIES IN DRAWINGS AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- THE ARCHITECT DISCLAIMS ANY RESPONSIBILITIES AND/OR KNOWLEDGE OF ASBESTOS. THE OWNER ACCEPTS ALL RESPONSIBILITY FOR REMOVAL AND DISPOSAL OF ASBESTOS IF DISCOVERED.
- DOORS IN STUD WALLS THAT ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT WALL. ALL DOORS TO HAVE 20 GA. KING STUDS (2X) BOTH SIDES.
- NEW CONSTRUCTION MUST ALIGN WITH EXISTING WALLS AND/OR ELEMENTS. WALL AND CEILING TEXTURES MUST MATCH AND BE BLENDED TO MEET OWNER AND ARCHITECT APPROVAL.
- ALL DIMENSIONS ARE FROM FACE OF FINISHED WALLS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
- ALL WALLS ARE TO BE WALL TYPE 1 U.N.O. SEE SHEET A-201 FOR WALL TYPES.
- SEE ELECTRICAL DRAWINGS FOR ALL ELECTRICAL NOTES AND FIRE SAFETY REQUIREMENTS.
- ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PHYSICALLY DISCONNECT ALL DISABLED DEVICES.
- CONTRACTOR TO VERIFY SPRINKLER LOCATIONS OF EXISTING SPRINKLER HEADS, TO MINIMIZE HEAD RELOCATION IT IS

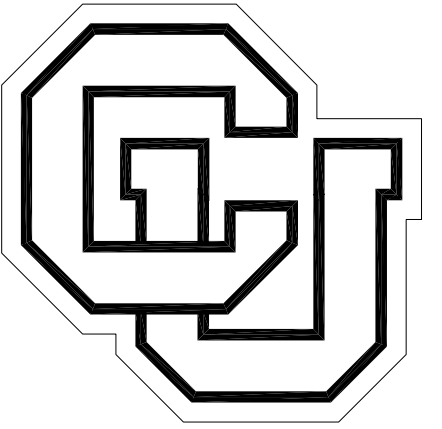


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DRAWN BY: HMH, KS CHECKED BY: MAB
PROJECT: 2049CU INITIAL DATE: DEC 2020

DEMOLITION PLANS

AD-101

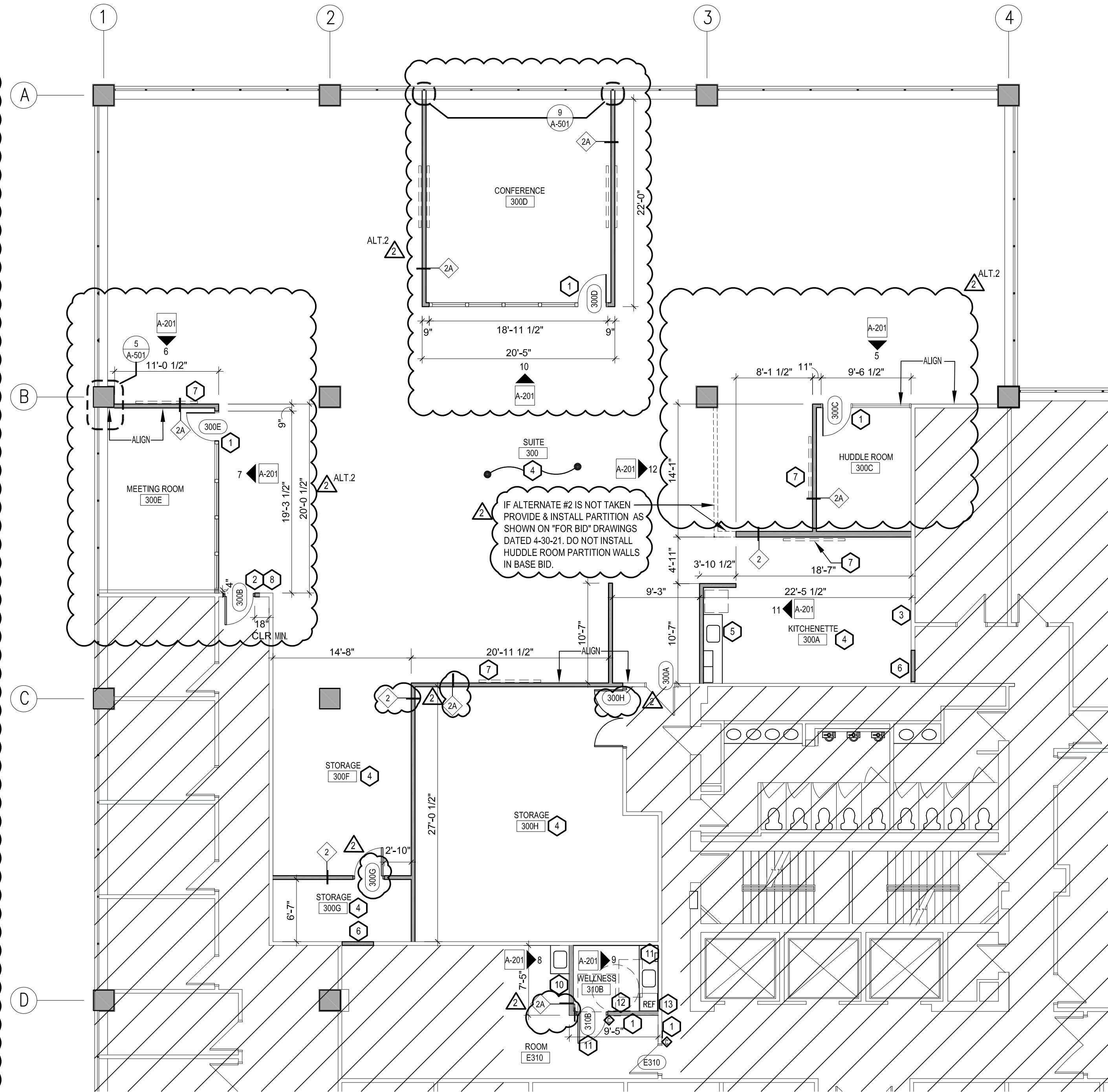
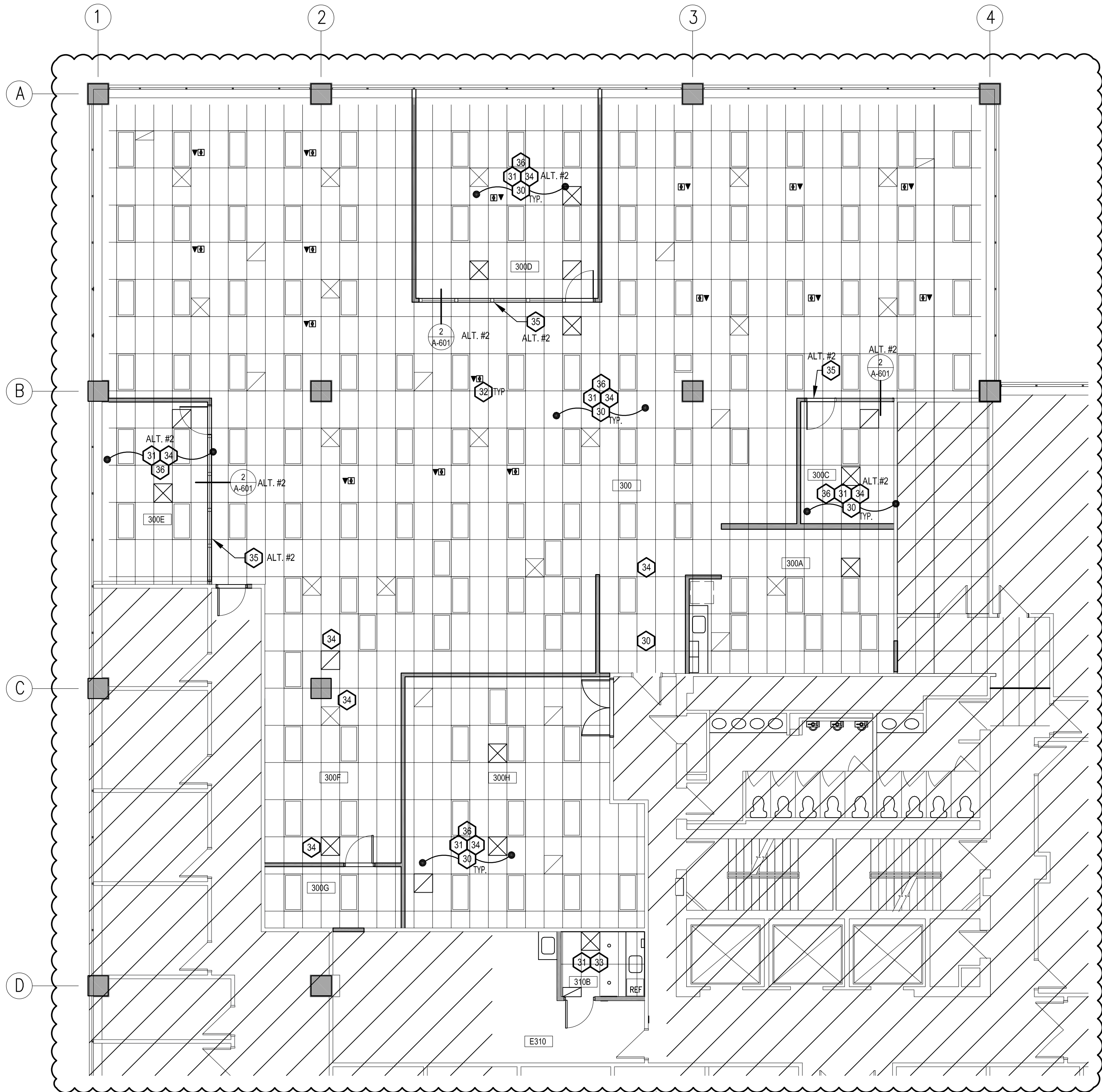


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RCP KEY NOTES:

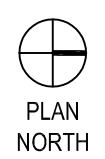
- 30 CAP (OWNER) RESPONSIBLE FOR REPLACING NEW LIGHT BULBS AND LENSES ON ALL EXISTING LIGHT FIXTURES. REUSE EXISTING 2X4 LIGHT FIXTURES AS REQ'D; RE: TO ELECTRICAL DRAWINGS FOR ALL RELATED INFORMATION
- 31 CAP (OWNER) WILL RE-INSTALL NEW CEILING TILE IN EXISTING GRID. OWNER WILL BE RESPONSIBLE FOR ORDERING REPLACEMENT CEILING TILES.
- 32 INSTALL NEW CEILING OUTLETS FOR POWER/DATA CONNECTION IN OWNER PROVIDE CEILING TILES. PROVIDE NEW DATA BOX OUTLETS ADJACENT TO POWER OUTLETS. REFER TO ELECTRICAL DRAWINGS FOR ALL RELATED INFORMATION
- 33 PROVIDE NEW DIMMABLE LED DOWN LIGHTS. REMOVE EXISTING 2X4 FIXTURES.
- 34 REUSE & PAINT EXISTING MECHANICAL DEVICES FOR NEW ROOM CONFIGURATION AS BASE BID. SEE ADD ALT. #2 FOR CONFERENCE ROOM LOCATIONS AND ASSOCIATED MECH. WORK.
- 35 PROVIDE & INSTALL SOFFIT PER 2/A-601 ABOVE STOREFRONT. PAINT EXPOSED TO VIEW GYP. BD. (ALT. #2)
- 36 PAINT ALL CEILING GRILLES/DIFFUSERS. REPLACE WHERE BROKEN (ASSUME REPLACEMENT OF FIVE (5) FOR BIDDING PURPOSES).

RCP LEGEND:

- 2X4 CEILING TILE; EXISTING TO REMAIN, OWNER TO PROVIDE ATTIC STOCK FOR SUBSTITUTE CEILING TILES
- CEILING OUTLET & DATA: REFER TO ELECTRICAL DRAWINGS
- EXIST. 2X4 LIGHT FIXTURE
- DEMO EXIST. 2X4 LIGHT FIXTURE
- RELOCATED EXIST. 2X4 LIGHT FIXTURE
- NEW DIMMABLE LED DOWN LIGHT, RE: ELEC. DWG

2 REFLECTED CEILING PLAN | 3

1/8" = 1'-0"



ADD ALTERNATES:

THE LISTED ADD ALTERNATES ARE THE SAME AS SHEET G-001. LISTED FOR CONVENIENCE

1. FINISHED CONCRETE FLOOR. DO NOT PROVIDE CARPET IN LIEU GRIND SLAB TO SALT AND PEPPER POLISH / FINISH. UNCOLORED GROUT TO FILL PIN HOLES.
2. PROVIDE & PERFORM WORK TO ADD CONFERENCE/MEETING ROOMS 300C, 300D, & 300E.

PLAN KEY NOTES:

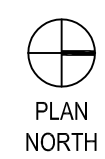
- 1 PROVIDE AND INSTALL NEW "WELLNESS ROOM" SIGNAGE TO MATCH CU DENVER AND BUILDING STANDARDS.
- 2 INSTALL SALVAGED DOOR, FRAME AND HARDWARE
- 3 EXISTING FIRE EXTINGUISHER TO REMAIN, PROTECT FROM DAMAGE DURING CONSTRUCTION
- 4 PROVIDE CARPET FLOORING. AS ADD ALT. #1. GRIND SLAB TO SALT AND PEPPER POLISH / FINISH; UNCOLORED GROUT TO FILL PIN HOLES
- 5 NEW CASEWORK (BY USER) ALL ELECTRICAL AND PLUMBING BY GC AND CASEWORK INSTALL TO BE COORDINATED WITH UNIVERSITY. CONTRACTOR TO PROVIDE BLOCKING IN WALL.
- 6 INFILL WALL AT DOOR DEMO LOCATION; MATCH WALL THICKNESS AND INSTALL GYP FOR FLUSH FINISH AT ADJACENT WALLS
- 7 TV/MONITOR, OWNER PROVIDED AND INSTALLED; REFER TO ELECTRICAL FOR ALL RELATED INFORMATION; CONTRACTOR T COORDINATE WITH UNIVERSITY FOR CABLING AND INSTALL. CONTRACTOR TO PROVIDING BLOCK IN WALL FOR MOUNTING.
- 8 INSTALL NEW WALL TO ALLOW FOR SALVAGED DOOR INSTALLATION AND ADA CLEARANCES AT DOOR E02; FIELD VERIFY DOOR OPENING BEFORE WALL INSTALLATION
- 9 ALIGN CENTER OF NEW GYP WALL WITH CENTER OF WINDOW MULLION
- 10 NEW SERVICE SINK IN COUNTER AND BASE CABINET.
- 11 PROVIDE COAT HOOK BOBRICK B-682 ON BACK OF DOOR. COORDINATE PAPER TOWEL DISPENSER ON WALL NEXT TO SINK WITH CU.
- 12 PROVIDE BOBRICK B-165 2480 MIRROR WITH METAL EDGE, MOUNTED ON WALL.
- 13 CONTRACTOR PROVIDED AND INSTALL UNDER COUNTER REFRIGERATOR. TO FIT UNDER ADA COUNTER.

LEGEND:

- NO WORK
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING WALLS TO BE DEMO'D
- CABINET / CASEWORK
- CABINET / CASEWORK / LINE ABOVE
- NEW CONSTRUCTION
- WINDOW
- DEMO'D / RELOCATED DOOR
- EXISTING DOOR TO REMAIN
- RELOCATED OR NEW DOOR
- CARD READER, RE: ELEC. DWG.
- FINISH TRANSITION

1 FLOOR PLAN | 3

1/8" = 1'-0"



GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ANY DISCREPANCIES IN DRAWINGS AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
2. THE ARCHITECT DISCLAIMS ANY RESPONSIBILITIES AND/OR KNOWLEDGE OF ASBESTOS. THE OWNER ACCEPTS ALL RESPONSIBILITY FOR REMOVAL AND DISPOSAL OF ASBESTOS IF DISCOVERED.
3. DOORS IN STUD WALLS THAT ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT WALL. ALL DOORS TO HAVE 20 GA. KING STUDS (2X) BOTH SIDES.
4. NEW CONSTRUCTION MUST ALIGN WITH EXISTING WALLS AND/OR ELEMENTS. WALL AND CEILING TEXTURES MUST MATCH AND BE BLENDED TO MEET OWNER AND ARCHITECT APPROVAL.
5. ALL DIMENSIONS ARE FROM FACE OF FINISHED WALLS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
6. ALL WALLS ARE TO BE WALL TYPE 1 UNO. SEE SHEET A-201 FOR WALL TYPES.
7. SEE ELECTRICAL DRAWINGS FOR ALL ELECTRICAL NOTES AND FIRE SAFETY REQUIREMENTS.
8. ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
9. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PHYSICALLY DISCONNECT ALL EXISTING DEVICES.
9. CONTRACTOR TO VERIFY SPRINKLER LOCATIONS OF EXISTING SPRINKLER HEADS. TO MINIMIZE HEAD RELOCATION IT IS ACCEPTABLE TO ADJUST WALL PLACEMENT WITH ARCHITECTS PRIOR APPROVAL.

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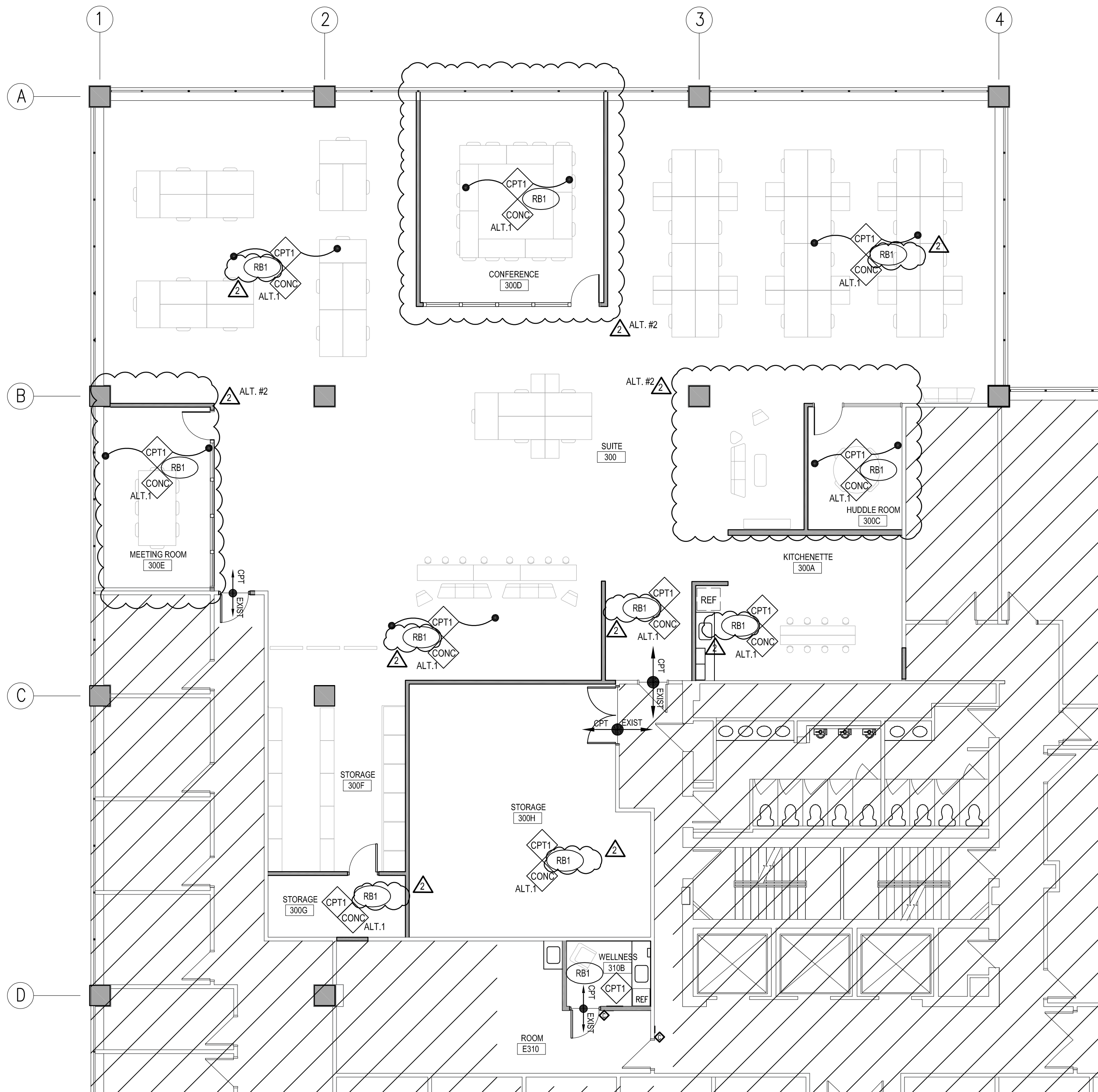
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FLOOR AND CELING PLANS

A-101

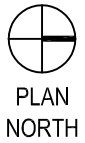
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FURNITURE SHOWN FOR REFERENCE ONLY

1 FINISH PLAN | 3

1/8" = 1'-0"



FINISHES:

PAINT:

(P-1) MANUFACTURER: BENJAMIN MOORE
COLOR: COLOR BY OWNER
FINISH: EGGSHELL
LOCATION: FIELD PAINT, U.N.O., T.B.D.

(P-2) MANUFACTURER: BENJAMIN MOORE
COLOR: COLOR BY OWNER
FINISH: EGGSHELL / SATIN
LOCATION: ACCENT WALL, T.B.D.

(P-3) MANUFACTURER: BENJAMIN MOORE
COLOR: COLOR BY OWNER
FINISH: EGGSHELL / SATIN
LOCATION: ACCENT WALL, T.B.D.

(P-4) MANUFACTURER: BENJAMIN MOORE
COLOR: COLOR BY OWNER
FINISH: EGGSHELL / SATIN
LOCATION: DOOR FRAME PAINT, T.B.D.

(P-5) MANUFACTURER: BENJAMIN MOORE
COLOR: COLOR BY OWNER
FINISH: EGGSHELL / SATIN
LOCATION: DOOR LEAF PAINT, T.B.D.

WALL BASE:

(RB1) MANUFACTURER: JOHNSONITE RUBBER BASE
STYLE: 4" COVED
COLOR: 44 - DARK BROWN

FLOORING:

(CPT1) MANUFACTURER: SHAW
COLLECTION: TBD BY OWNER
COLOR: TBD BY OWNER
STYLE: TBD BY OWNER
SIZE: 24X24
LOCATION: OPEN WORK AREA
ALLOWANCE: CONTRACTOR TO CARRY \$40.00/SY TO INCLUDE DEMO, PREP, AND INSTALL

(CONC ALT.1) FINISHED CONCRETE FLOOR - GRIND SLAB TO SALT AND PEPPER POLISH / FINISH: UNCOLORED GROUT TO FILL PINHOLES. USE RB1 ON ALL WALLS.

GENERAL NOTES:

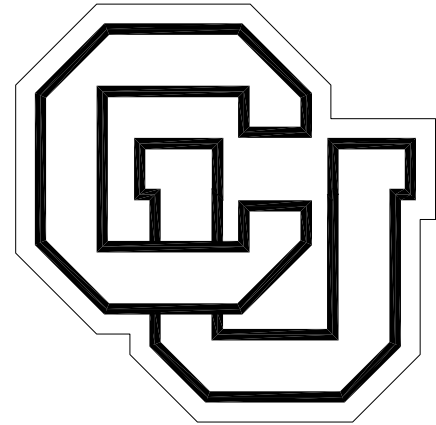
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- THE ARCHITECT DISCLAIMS ANY RESPONSIBILITIES AND/OR KNOWLEDGE OF ASBESTOS. THE OWNER ACCEPTS ALL RESPONSIBILITY FOR REMOVAL AND DISPOSAL OF ASBESTOS IF DISCOVERED.
- DOORS IN STUD WALLS THAT ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT WALL. ALL DOORS TO HAVE 20 GA. KING STUDS (2X) BOTH SIDES.
- NEW CONSTRUCTION MUST ALIGN WITH EXISTING WALLS AND/OR ELEMENTS. WALL AND CEILING TEXTURES MUST MATCH AND BE BLENDED TO MEET OWNER AND ARCHITECT APPROVAL.
- ALL DIMENSIONS ARE FROM FACE OF FINISHED WALLS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
- ALL WALLS ARE TO BE WALL TYPE 1 U.N.O. SEE SHEET A-201 FOR WALL TYPES.
- SEE ELECTRICAL DRAWINGS FOR ALL ELECTRICAL NOTES AND FIRE SAFETY REQUIREMENTS.
- ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PHYSICALLY DISCONNECT ALL DISABLED DEVICES.
- CONTRACTOR TO VERIFY SPRINKLER LOCATIONS OF EXISTING SPRINKLER HEADS. TO MINIMIZE HEAD RELOCATION IT IS ACCEPTABLE TO ADJUST WALL PLACEMENT WITH ARCHITECTS PRIOR APPROVAL.

FINISH NOTES:

- PAINT ALL WALLS FIELD COLOR, P-1, UNO
- DOOR FRAMES TO BE MATCH EXISTING FRAME COLORS - COLOR MATCH; MASK AND PROTECT HINGES AND STRIKE PLATES FROM PAINT; IMMEDIATELY CLEAN ANY PAINT FROM HINGES IF OCCURS
- PATCH/REPAIR ALL HOLES, DAMAGED CORNER BEADS AT EXISTING WALLS. TEXTURES MUST MATCH AND BE BLENDED TO MEET OWNERS AND ARCHITECTS APPROVAL
- FURNITURE IS BY OWNER / USER AND SHOWN FOR REFERENCE AND COORDINATION PURPOSES
- DEMOUNTABLE FURNITURE WALLS OWNER PROVIDED AND FURNITURE VENDOR INSTALLED HUDDLE AND CONFERENCE ROOMS
- WELLNESS ROOM [310A] AND ROOM 310 CABINETS AND COUNTER TOPS SHALL BE PROVIDED AND INSTALLED BY CONTRACT. COUNTER AND TOPS SHALL BE PLASTIC LAMINATE PER CU DENVER STANDARD. LAMINATE COLORS TO BE STANDARD AND SELECTED BY OWNER.

LEGEND:

- NO WORK
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING WALLS TO BE DEMO'D
- CABINET / CASEWORK
- CABINET / CASEWORK / LINE ABOVE
- NEW CONSTRUCTION
- WINDOW
- DEMO'D / RELOCATED DOOR
- EXISTING DOOR TO REMAIN
- RELOCATED OR NEW DOOR
- CARD READER, RE: ELEC. DWG.



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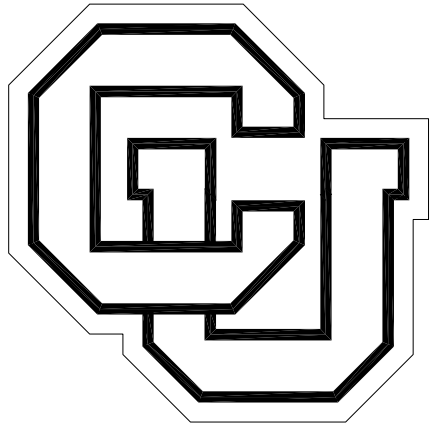
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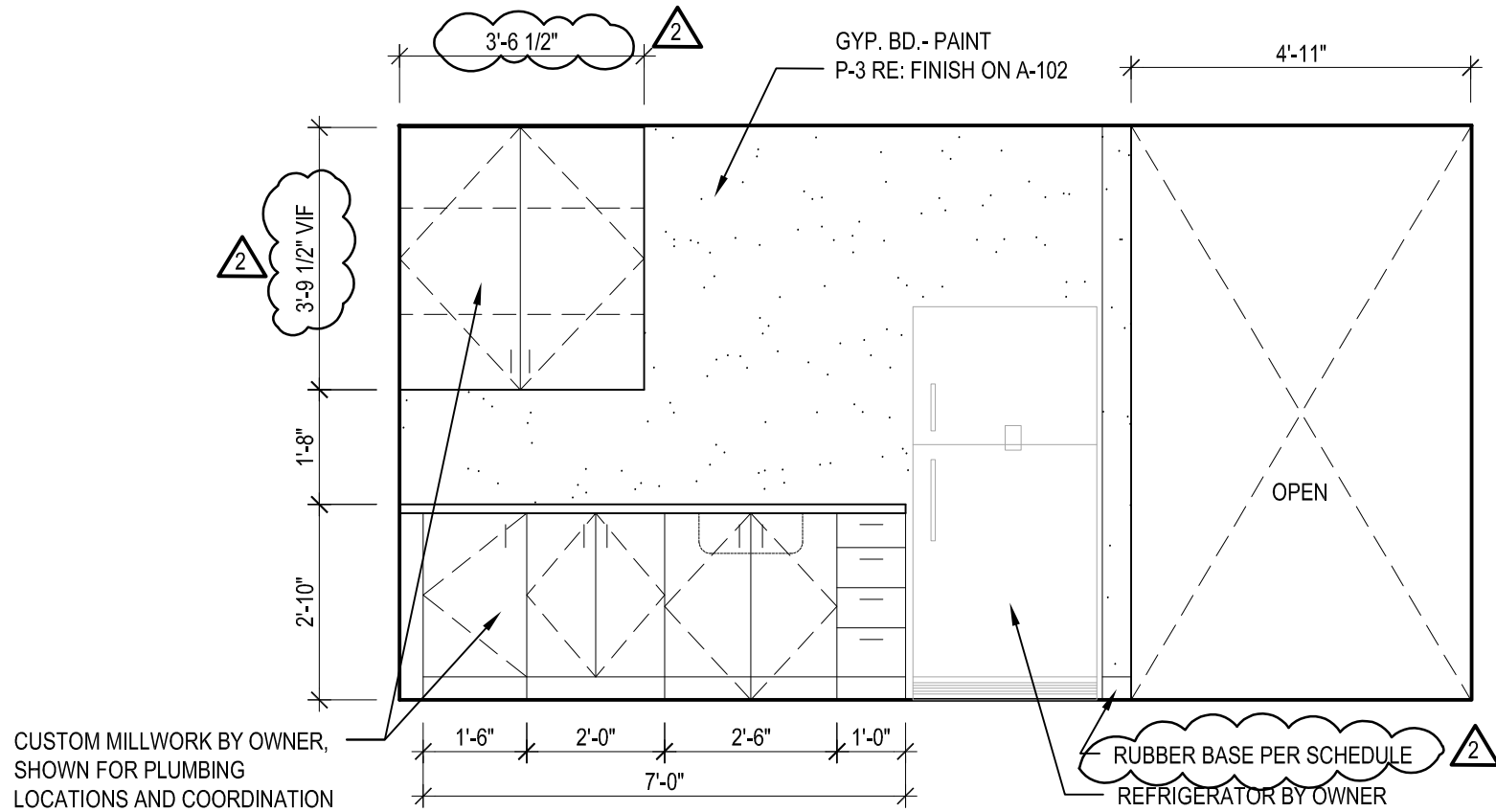
FINISH PLAN

A-102

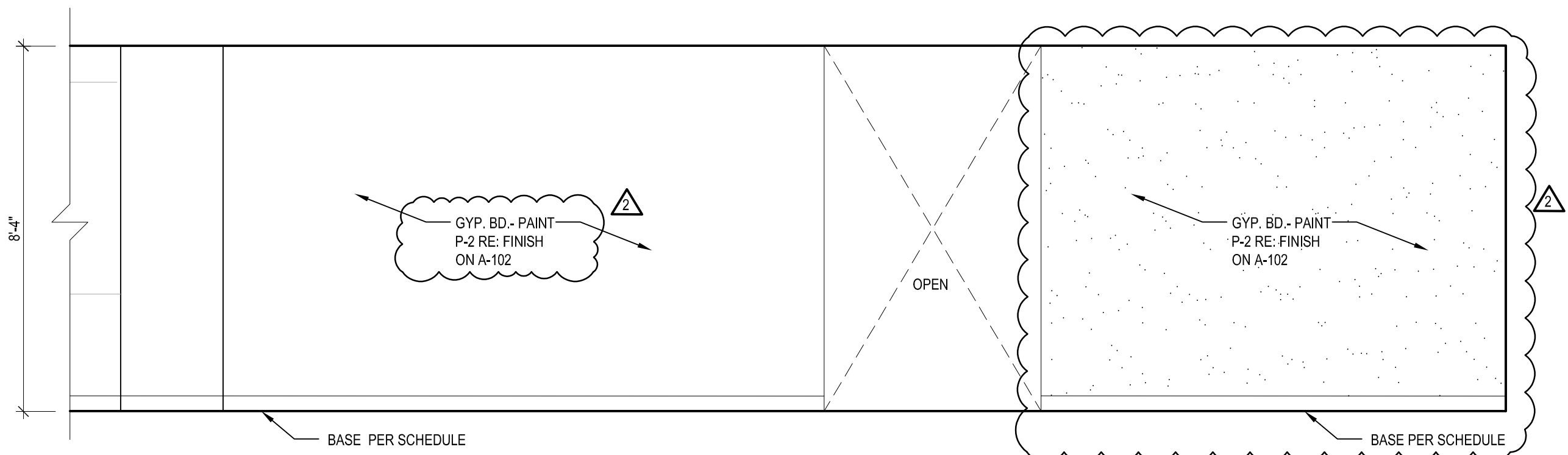


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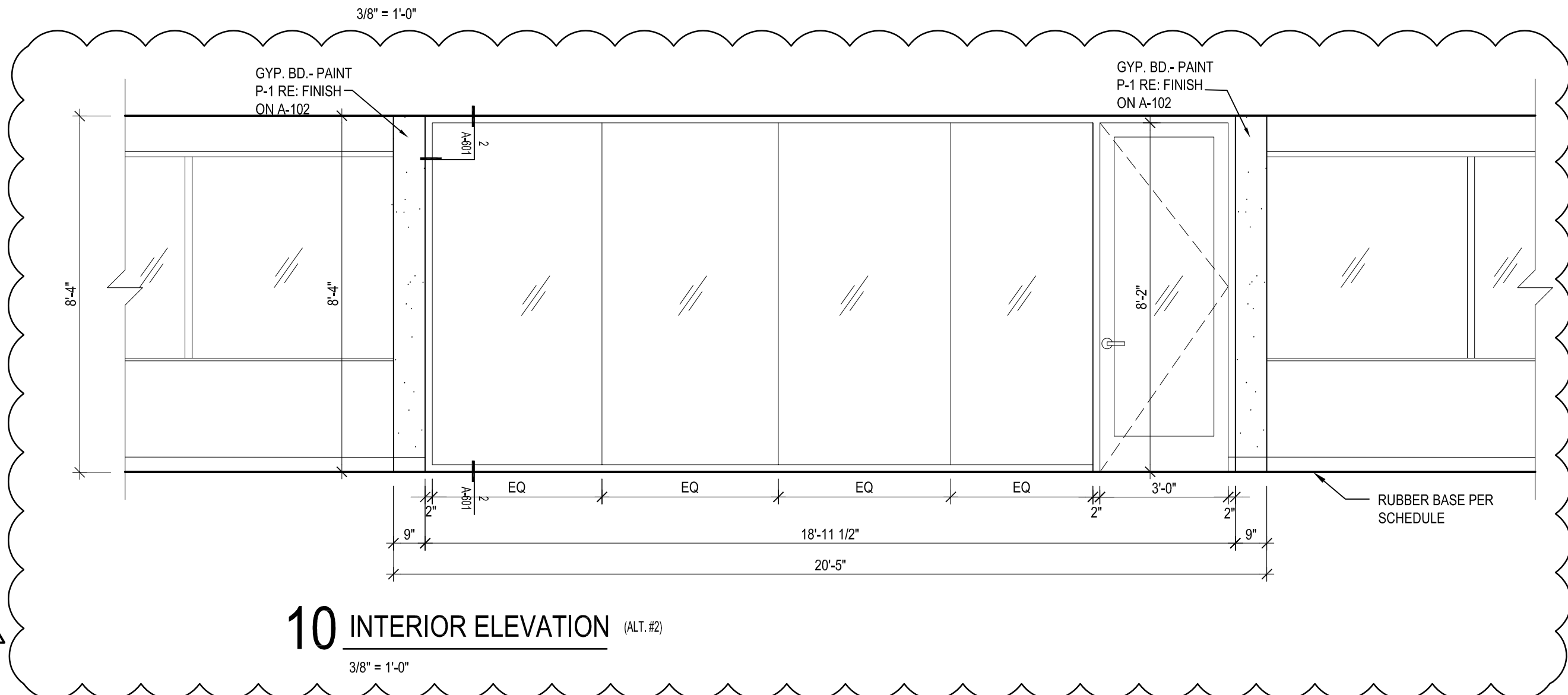
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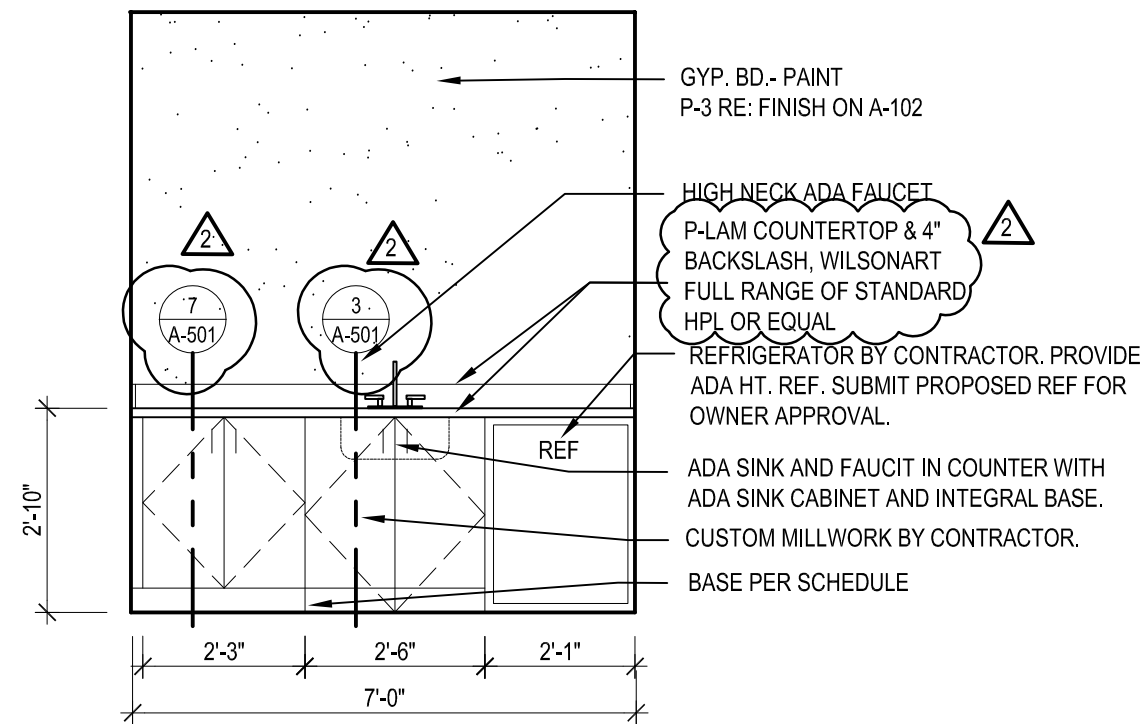
11 INTERIOR ELEVATION



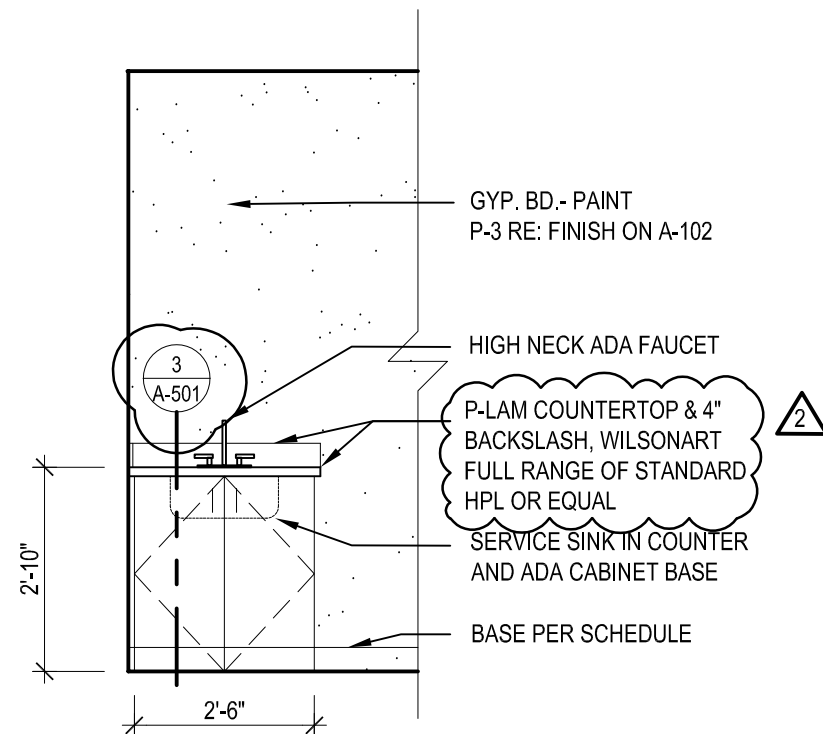
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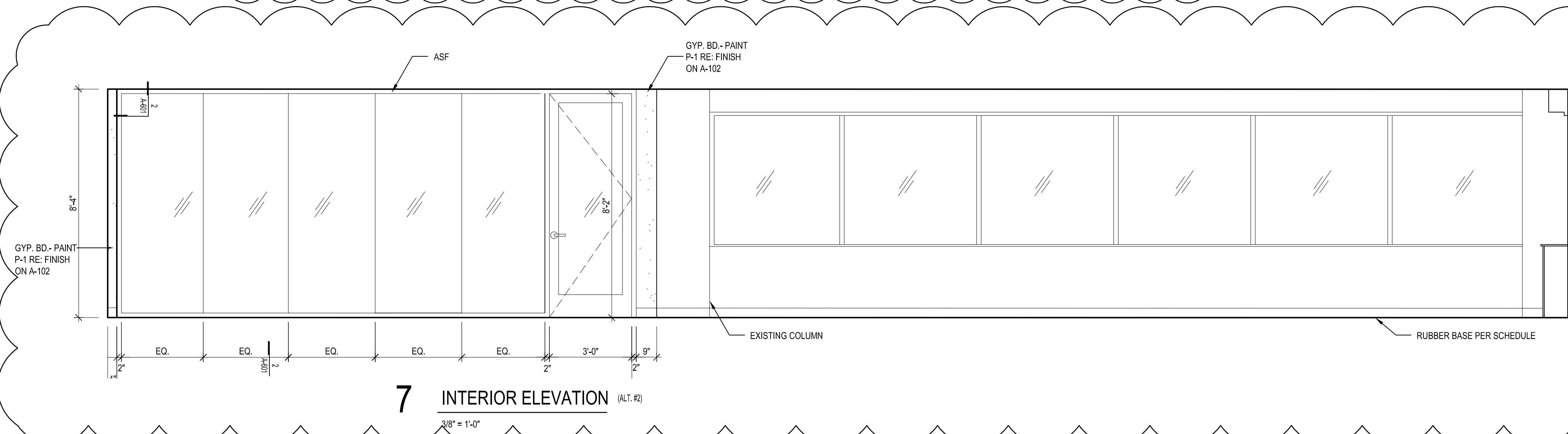
10 INTERIOR ELEVATION (ALT. #2)



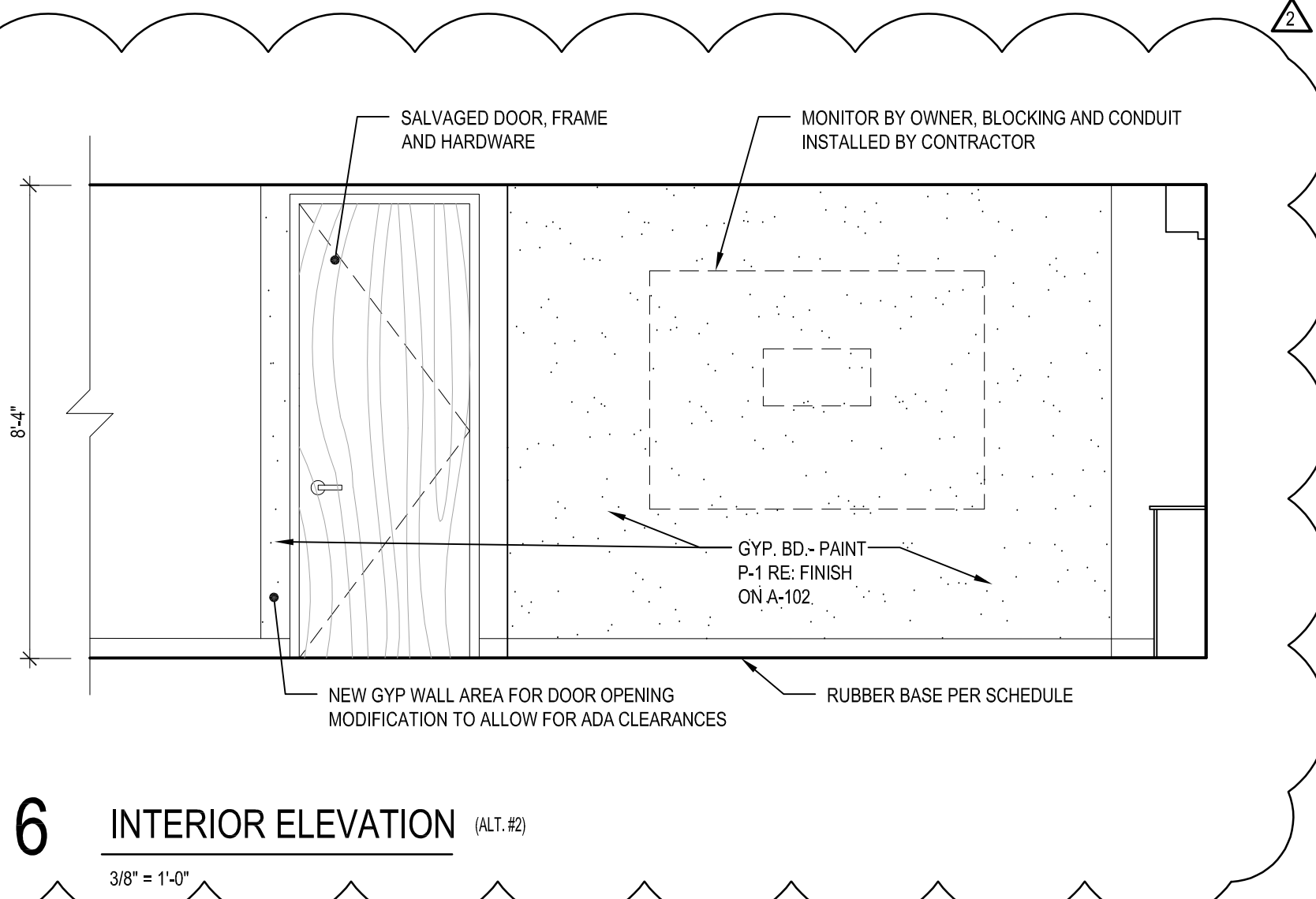
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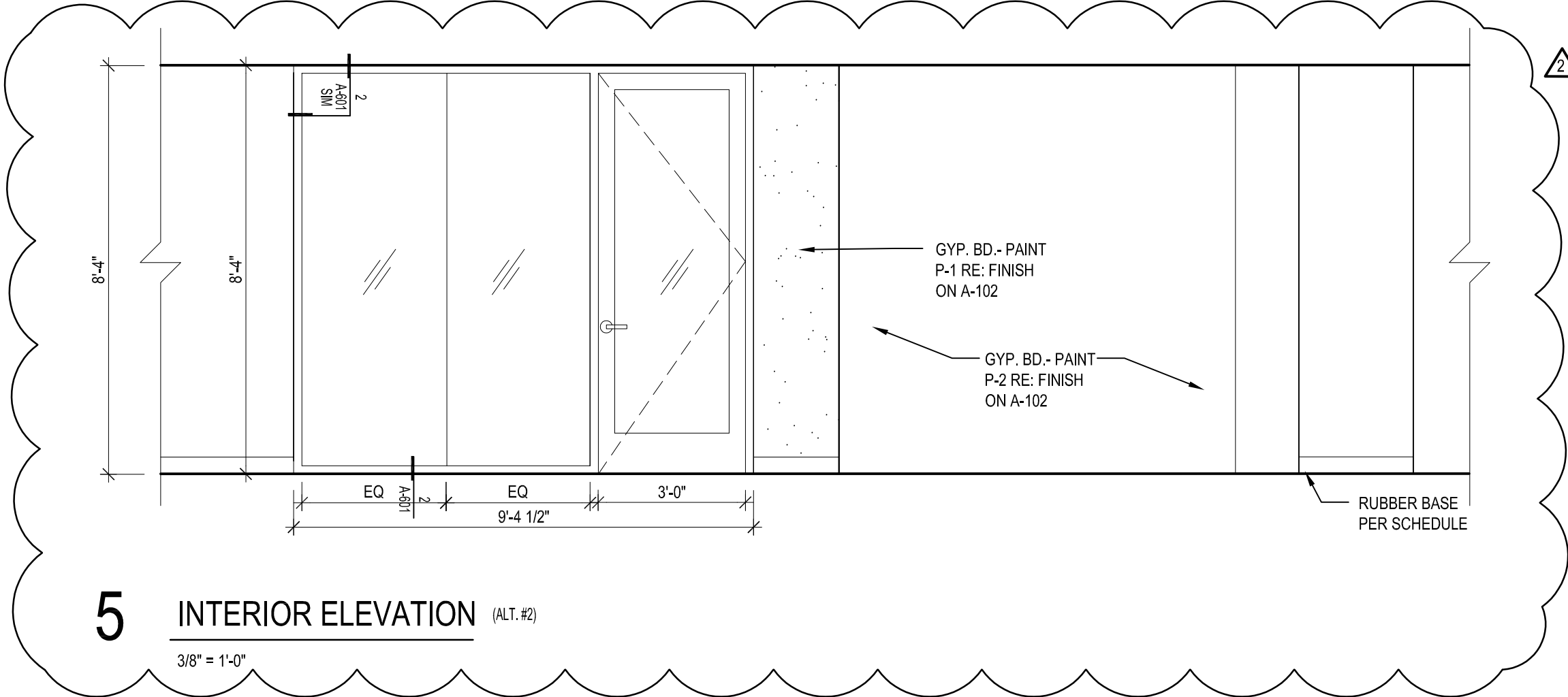
8 INTERIOR ELEVATION



7 INTERIOR ELEVATION (ALT. #2)



6 INTERIOR ELEVATION (ALT. #2)



5 INTERIOR ELEVATION (ALT. #2)

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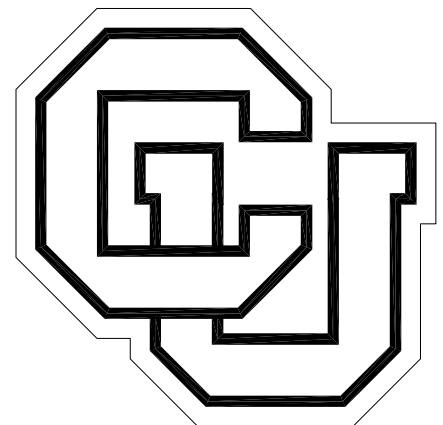
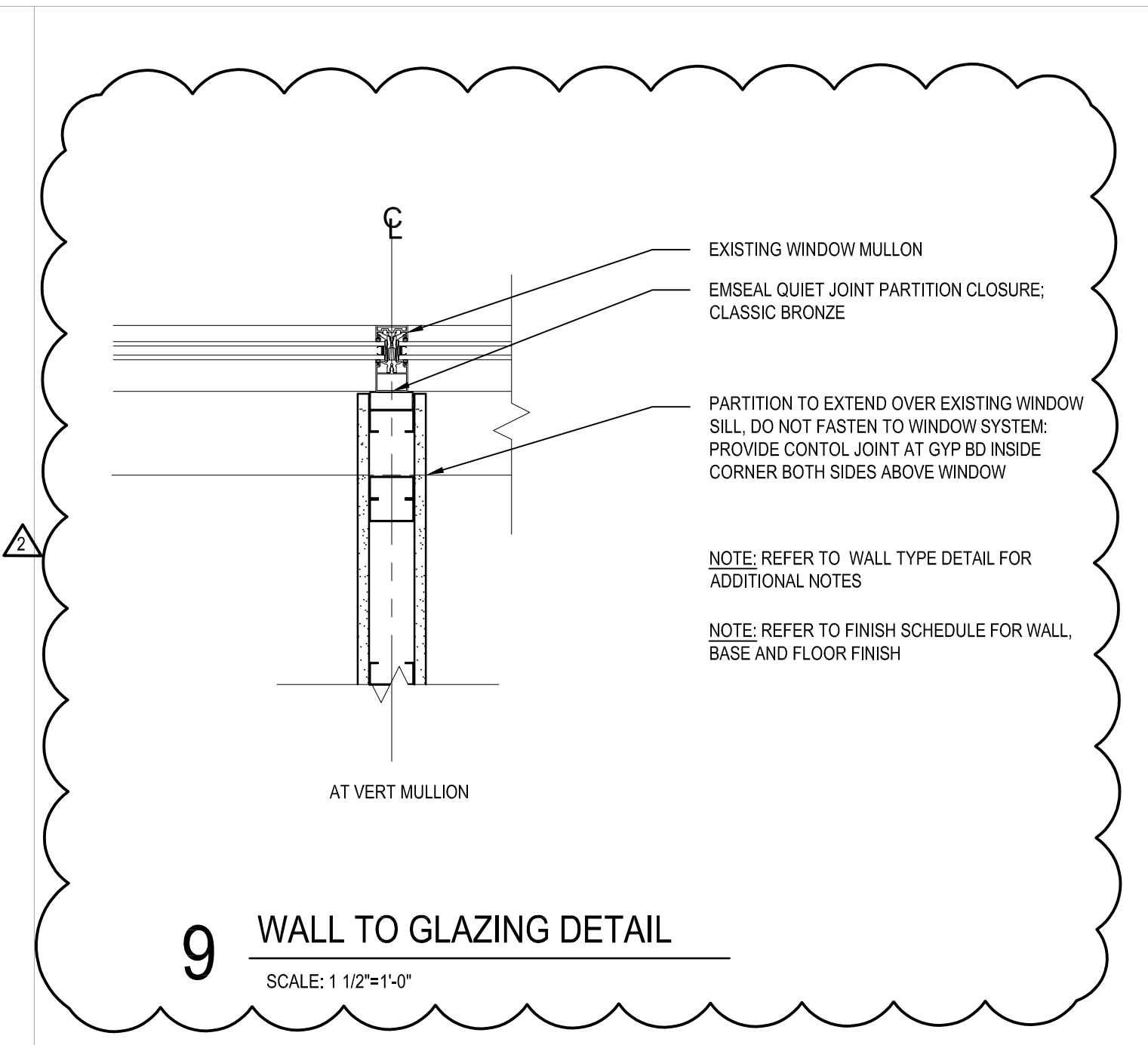
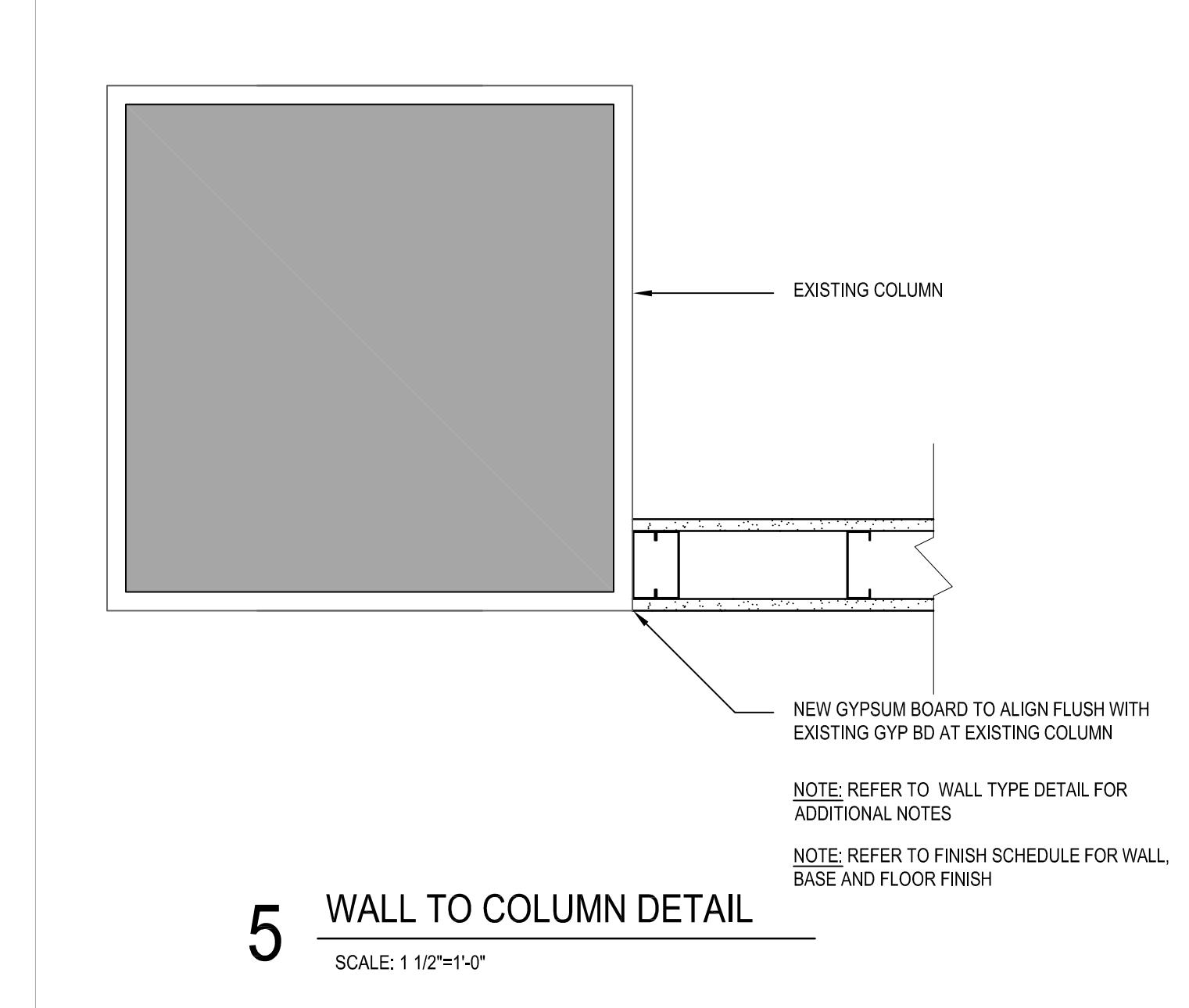
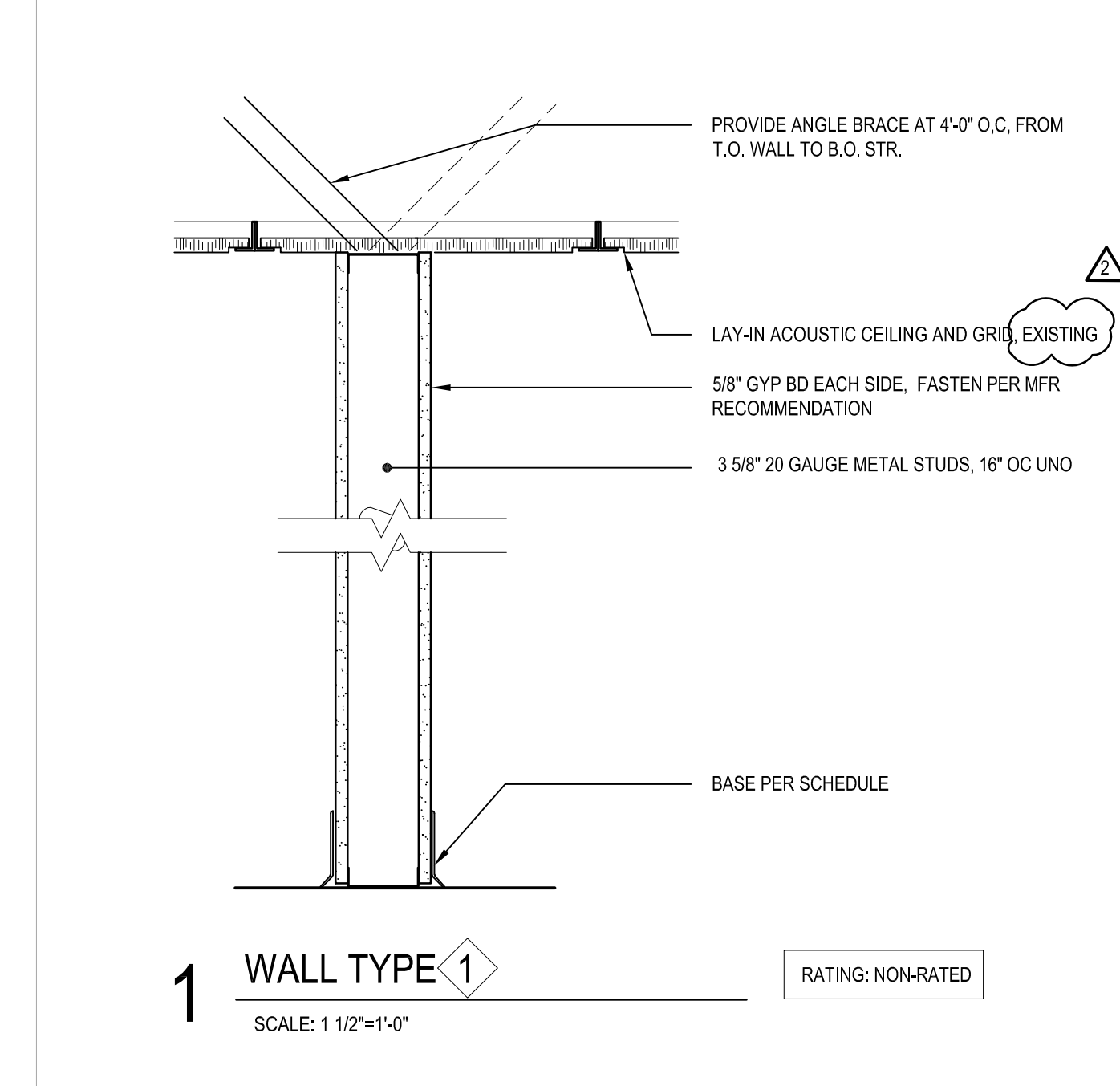
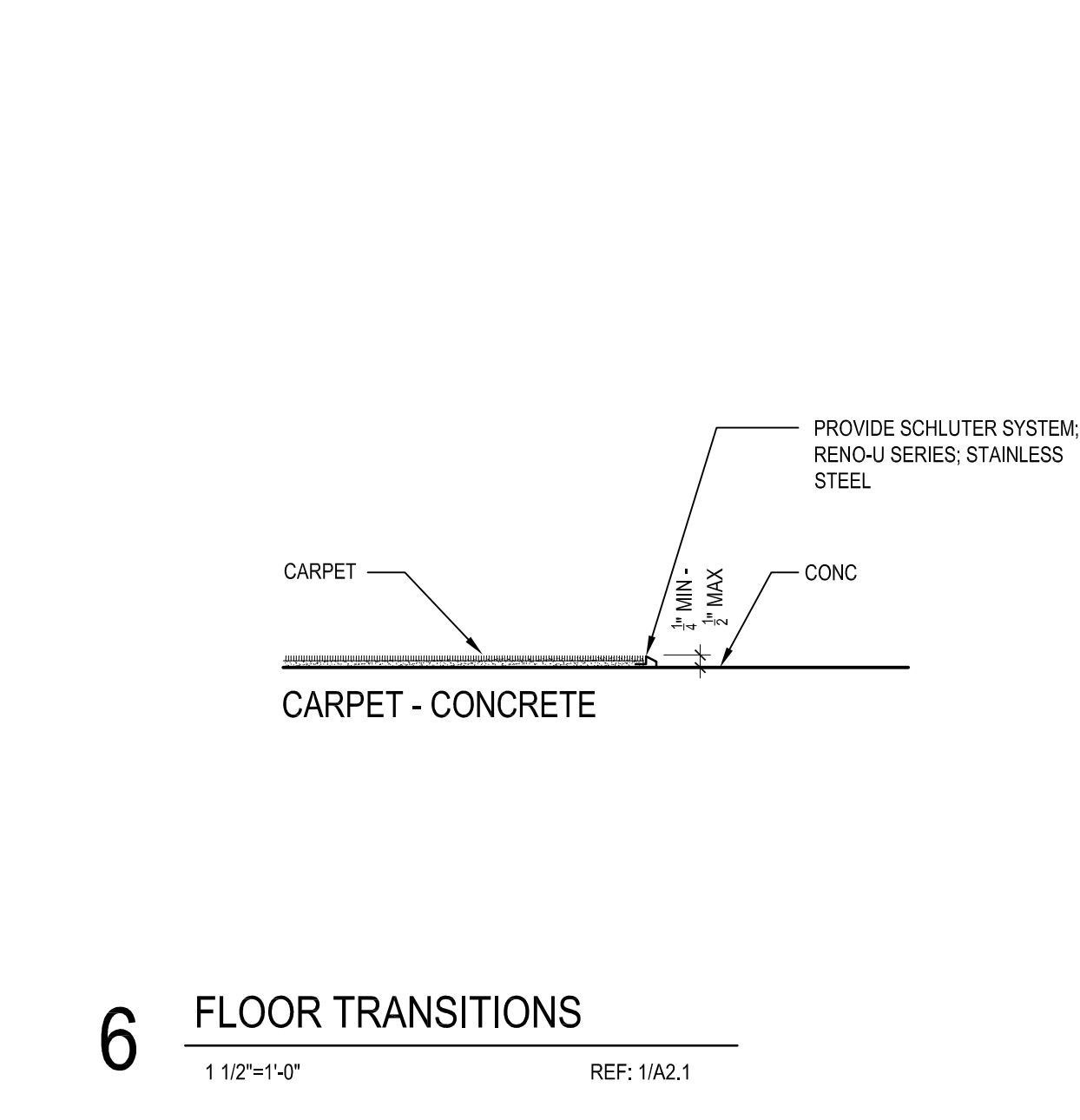
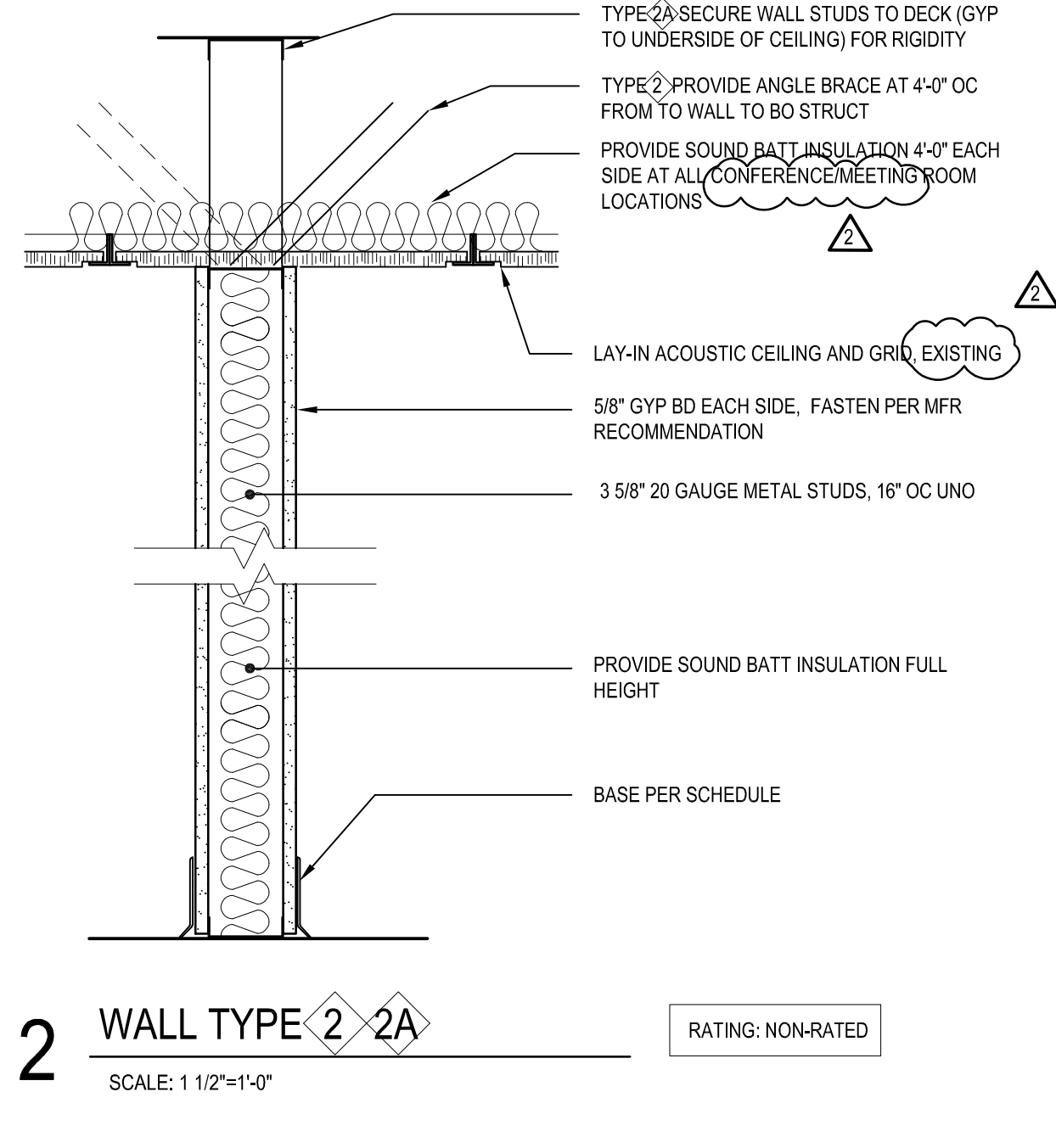
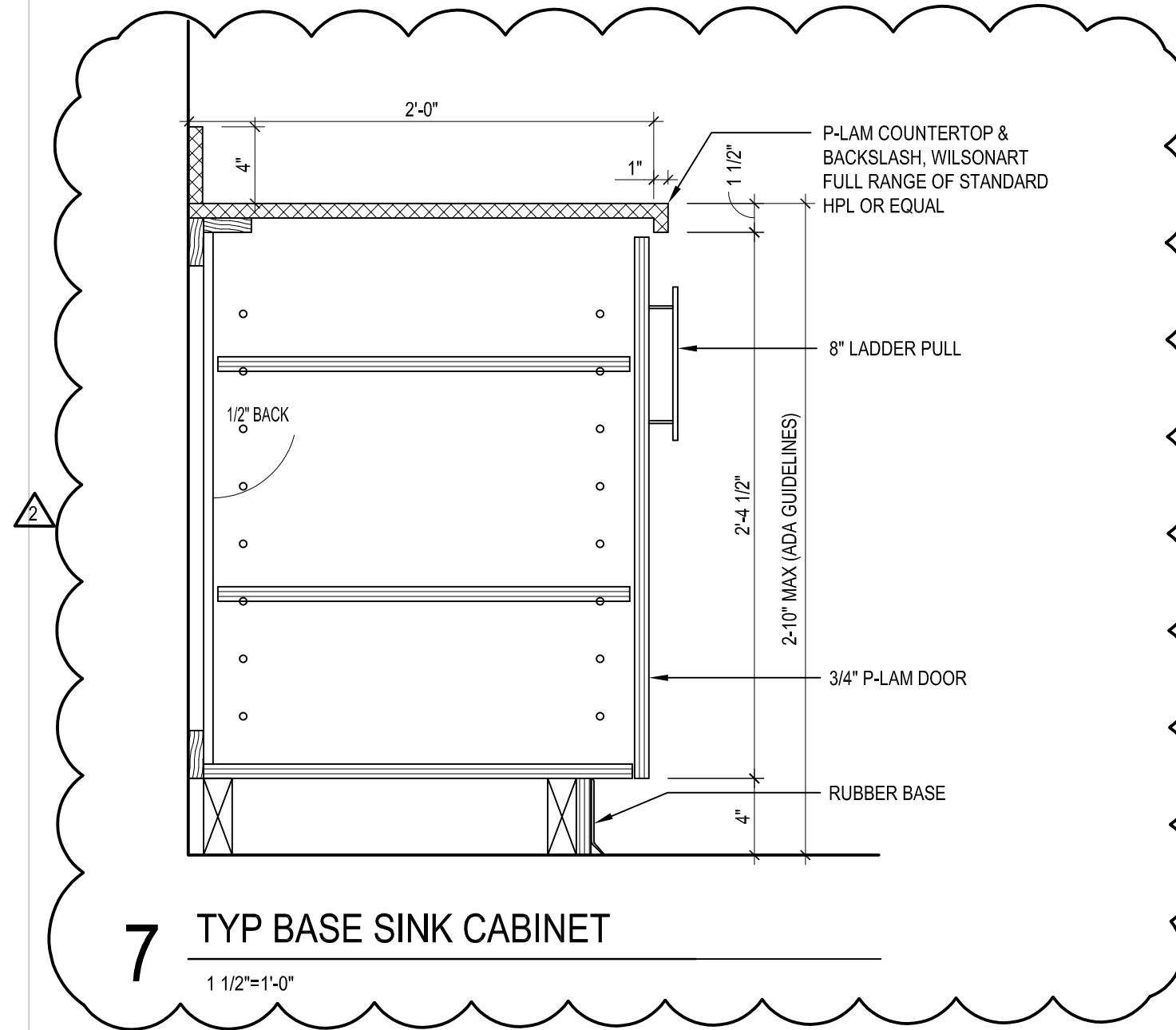
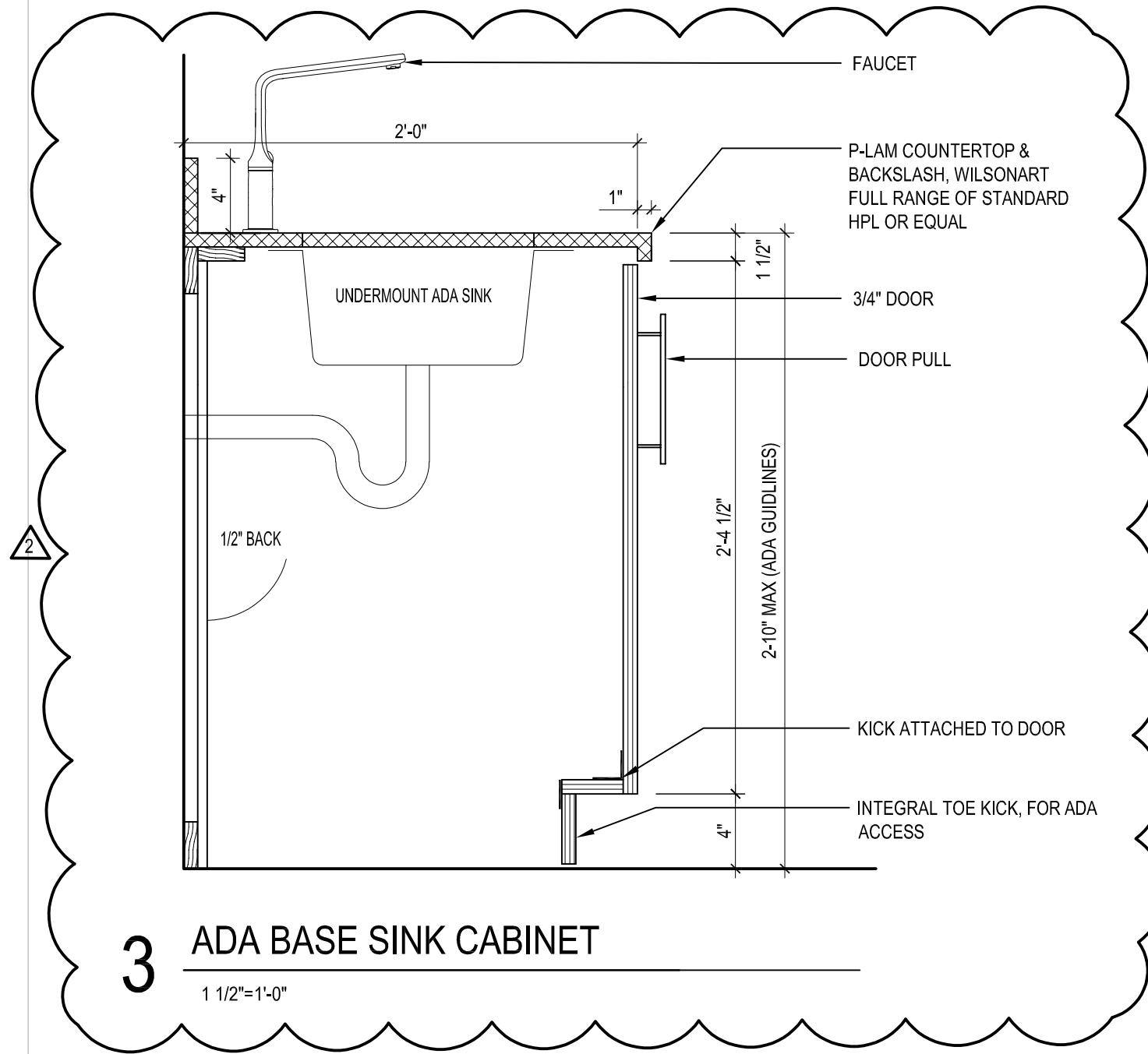
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INTERIOR ELEVATIONS

A-201

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DETAILS

A-501

