

**PN 19-151786 / AHWC 1<sup>st</sup> Consolidate Metabolic Kitchens on Campus**

**Type of Original Notice: Documented Quote**

**Notice Number: 19-151786**

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**July 9, 2021**

**ADDENDUM 1**

**QUESTIONS:**

1. Do you have a door species and cut besides match? *Response: Door species and finish to be finalized during Construction but the following can be used for pricing purposes: Species: Douglas Fir, Cut: Rift cut, Match between Veneer Leaves: Book match, Assembly of Veneer leaves on door faces: Running match, Factory finish to match existing. The awarded contractor to confirm this information before submittals are sent.*
2. Is this a Davis Bacon Project? *Response: No*
3. Any Liquidated damages? *Response: No, but stated construction schedule is not flexible.*
4. Any background checks required? *Response: No*
5. Does the school need to badge us? *Response: Yes The cost to obtain is \$15 per badge and is paid by the Contractor.*
6. Is professional Liability required since we did not do the drawings? *Response: No*
7. Is pollution insurance required? *Response: No*
8. Required sprinkler and/or fire alarm subcontractors? *Response: The scope of work is not expected to included sprinkler or fire alarm modifications but if modifications are determined to be needed, all work is to be done to campus standards. There are no pre-approved sprinkler subs for the campus.*
9. What percent of the construction work needs to be performed after hours and weekends? *Response: All the work is expected to be performed within standard work hours but the contractor and their subs can choose to perform work after hours and/or on weekends at their discretion/option to meet the schedule. Noisy work to be done early – 6:00 AM and 8:00 AM and to be coordinated with University PM, AHWC and existing tenants per Additional Information #3 below.*
10. What percent of the construction work can be performed during normal working hours? *Response: See response to question 9 above.*
11. Will there be restroom facilities made available for the construction crews use inside the building or will the GC need to provide portable restroom facilities for construction crews outside the building? *Response: Restroom facilities directly adjacent to the Metabolic Kitchen are available for the construction crews to use – but limited to these facilities. GC responsible for their subs to be respectful of the courtesy of these facilities.*
12. Will the GC/Trade partners need to account for parking costs or will parking costs/permits be provided by CUA? *Response: There is no free parking on campus. Contractor can obtain parking permits through the University on a monthly basis or individuals can pay for parking on an hourly or daily basis in any of the Public Parking lots or Parking garage.*
13. Where is the location for the GC to stage a dumpster? *Response: University PM will work with selected GC but a potential dumpster location is in the parking lot between the V07 House and the south side of the Health and Wellness Center.*
14. **\*\*NOTE\*\*** Lead times for doors and hardware are averaging 10 weeks and lead times for mechanical equipment is averaging 5 weeks; Does the anticipated construction finish date of 10/22/2021 have any flexibility to it to account for current commodity lead times? *Response: No – there is no flexibility in the schedule as noted at the Mandatory Walk-through and in the Permit/Construction documents. All doors can be temporary for Temporary Certificate of Occupancy. Submittals for long lead items will need to be sent to the Design Team for review immediately after award of Contract.*



15. Please verify that all furniture, appliances and stainless steel kitchen equipment/tables/cabinets/etc. are owner provided and owner moved (per furniture key note sheet A01.02). *Response: On Sheet A01.01, all South Enlarged Floor Plans keys noted as "NEW" are to be provided by the GC, including all stainless steel kitchen cabinets and table. Only items noted as Owner Furnished / Owner Installed will be the responsibility of the Owner. On Sheet A01.02, the Furniture Key notes "All Furniture Owner Provided / Owner Moved" for all items indicated on the North and South Enlarged Furniture Plans.*
16. Are any of the walls being modified fire rated? If so, which ones and what are their ratings? *Response: We don't believe the project scope area contains any fire rated walls. If construction reveals the walls to be rated, the issue will be addressed at that time.*
17. Is all wood blocking still required to be fire resistant treated if there are no fire rated walls? *Response: Yes*
18. Existing flooring in Room Number V08-1208A is SV-1 (Sheet Vinyl). Electrical sheet E-101 key note 5 states to remove an existing floor box and patch floor and floor covering material to match existing. Please verify that a "patch" in the existing sheet vinyl will suffice (\*NOTE\* not guaranteed to match) or will the entire sheet/floor in this room need to be replaced? *Response: The existing flooring in V08-1208A is carpet with base as noted to be demolished on Sheet AD0.01, 2/South Enlarged Plan, South Enlarged Demo Note key S2. New Flooring for V08-1208A is SV-1 as noted on A01.01, South Enlarged Floor Plan Note S11 and as indicated in the Room Finish Schedule. Demo Plan Note S6 on AD0.01 indicates the patching of the demo'd floor box in the concrete. That is the only patching to be done. Patch is to allow future re-use of the pathway. The new SV-1 sheet vinyl flooring will cover the floor box recess patch.*
19. Any walls that are being modified and or any walls receiving new electrical boxes: Do we need to anticipate painting the entire room or only the effected wall area? i.e. only paint corner to corner & floor to ceiling? *Response: All walls being painted are to be painted corner to corner and floor to ceiling.*

#### **DRAWING SCOPE AND CLARIFICATIONS:**

1. M-101: Refer to Addendum 1 revision on attached sheet.

#### **SPECIFICATION CLARIFICATIONS:**

1. See attached revised Bid Form with revised time periods and lines for GC to list SCPP approved Mechanical and Electrical subcontractors as no requests were submitted by 7/7 at 1:00 for non-pre approved mechanical and electrical subcontractors to be reviewed.

#### **ADDITIONAL INFORMATION:**

1. Remove the requirement stated in the Advertisement for Documented Quotes to submit a COVID-19 Operational Plan with bids. This is no longer required.
2. No exclusions on bids.
3. **Please note that the GC will be required to coordinate the construction schedule and construction activities with the Owner with regard to the schedules of the existing tenants who will continue to use the Metabolic Kitchen V08-1204 and room V08-1208 periodically throughout construction.**

**END OF ADDENDUM 1**





STATE OF COLORADO  
OFFICE OF THE STATE ARCHITECT  
STATE BUILDINGS PROGRAMS

**BID**

Institution/Agency: University of Colorado Anschutz Medical Campus / GFE

Project No./Name: 19-151786 / AHCW 1<sup>st</sup> Consolidate Metabolic Kitchens on Campus

Bidder Acknowledges Receipt of Addenda Numbers:

Bidder Anticipates Services outside the United States or Colorado:\*

Bidder will comply with 80% Colorado Labor on project above \$500,000:

Bidder is a Service-Disabled Veteran Owned Small Business:\*

No <input type="checkbox"/>	Yes <input type="checkbox"/>	If Yes see 3A below
Yes <input type="checkbox"/>	No <input type="checkbox"/>	If No see 3B below
No <input type="checkbox"/>	Yes <input type="checkbox"/>	If Yes see 3C below

**Base Bid**

\$ \_\_\_\_\_

SCPP Approved Mechanical Subcontractor \_\_\_\_\_

SCPP Approved Electrical Subcontractor \_\_\_\_\_

Bidder's Time of Completion

a. Time Period from Notice to Proceed to Substantial Completion:

81 Days

b. Time Period from Substantial Completion to Final Acceptance:

10 Days

c. Total Time of Completion of Entire Project (a + b):

91 Days

- BID:** Pursuant to the advertisement by the State of Colorado dated 6/25/21 the undersigned bidder hereby proposes to furnish all the labor and materials and to perform all the work required for the complete and prompt execution of everything described or shown in or reasonably implied from the Bidding Documents, including the Drawings and Specifications, for the work and for the base bid indicated above. Bidders should include all taxes that are applicable.
- EXAMINATION OF DOCUMENTS AND SITE:** The bidder has carefully examined the Bidding Documents, including the Drawings and Specifications, and has examined the site of the Work, so as to make certain of the conditions at the site and to gain a clear understanding of the work to be done.
- PARTIES INTERESTED IN BID:** The bidder hereby certifies that the only persons or parties interested in this Bid are those named herein, and that no other bidder or prospective bidder has given any information concerning this Bid.
  - If the bidder anticipates services under the contract or any subcontracts will be performed outside the United States or Colorado, the bidder shall provide in a written statement which must include, but need not be limited to the type of services that will be performed at a location outside the United States or Colorado and the reason why it is necessary or advantageous to go outside the United States or Colorado to perform such services. (Does not apply to any project that receives federal moneys) \*
  - For State Public Works projects per C.R.S. 8-17-101, Colorado labor shall be employed to perform at least 80% of the work. Colorado Labor means any person who is a resident of the state of Colorado at the time of the Public Works project. Bidders indicating that their bid proposal will not comply with the 80% Colorado Labor requirement are required to submit written justification along with the bid submission. (Does not apply to any project that receives federal moneys) \*
  - A Service-Disabled Veteran Owned Small Business (SDVOSB) per C.R.S. 24-103-211, means a business that is incorporated or organized in Colorado or maintains a place of business or has an office in Colorado and is officially registered and verified by the Center for Veteran Enterprise within the U.S. Department of Veteran Affairs. Attach proof of certification along with the bid submission. \*
- BID GUARANTEE:** This Bid is accompanied by the required Bid Guarantee. You are authorized to hold said Bid Guarantee for a period of not more than thirty (30) days after the opening of the Bids for the work above indicated, unless the undersigned bidder is awarded the Contract, within said period, in which event the Director, State Buildings Programs, may retain said Bid Guarantee, until the undersigned bidder has executed the required Agreement and furnished the required Performance Bond, Labor and Material Payment Bond, Insurance Policy and Certificates of Insurance and Affidavit Regarding Unauthorized Immigrants.
- TIME OF COMPLETION:** The bidder agrees to achieve Substantial Completion of the Project from the date of the Notice to Proceed within the number of calendar days entered above, and in addition, further agrees that the period between Substantial Completion and Final Acceptance of the Project will not exceed the number of

**calendar days noted above.** If awarded the Work, the bidder agrees to begin performance within ten (10) days from the date of the Notice to Proceed subject to Article 46, Time of Completion and Liquidated Damages of the General Conditions of the Contract, and agrees to prosecute the Work with due diligence to completion. The bidder represents that Article 7D of the Contractor's Agreement (SC-6.21) has been reviewed to determine the type and amount of any liquidated damages that may be specified for this contract.

- 6. **EXECUTION OF DOCUMENTS:** The bidder understands that if this Bid is accepted, bidder must execute the required Agreement and furnish the required Performance Bond, Labor and Material Payment Bond, Insurance Policy and Certificates of Insurance and Affidavit Regarding Unauthorized Immigrants within ten (10) days from the date of the Notice of Award, and that the bidder will be required to sign to acknowledge and accept the Contract Documents, including the Drawings and Specifications.
- 7. **ALTERNATES:** Refer to the Information for Bidders (SC-6.12) for Method of Award for Alternates and use State Form SBP-6.13.1 Bid Alternates form to be submitted with this bid form if alternates are requested by the institution/agency in the solicitation documents.
- 8. **Submit wage rates** (direct labor costs) for prime contractor and subcontractor as requested by the institution/agency in the solicitation documents.
- 9. **The right is reserved to waive informalities and to reject any and all Bids.**

*\*Does not apply to projects for Institutions of Higher Education that have opted out of the State Procurement Code.*

SIGNATURES: If the Bid is being submitted by a Corporation, the Bid shall be signed by an officer, i.e., President or Vice-President. If a sole proprietorship or a partnership is submitting the Bid, the Bid shall so indicate and be properly signed.

Dated this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_\_

THE BIDDER:

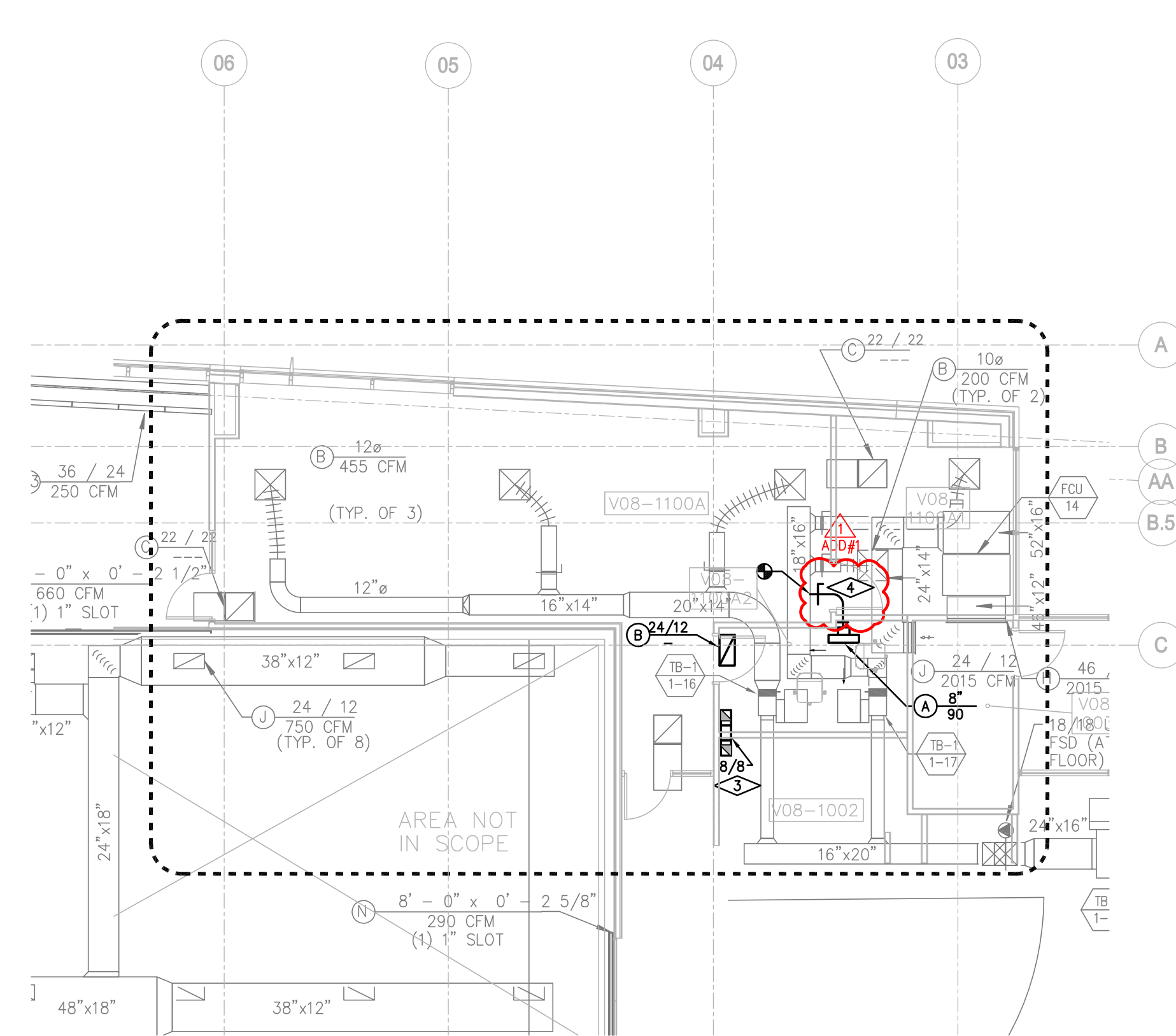
\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Address (including city, state and zip)

Phone number:

\_\_\_\_\_  
Name (Print) and Title

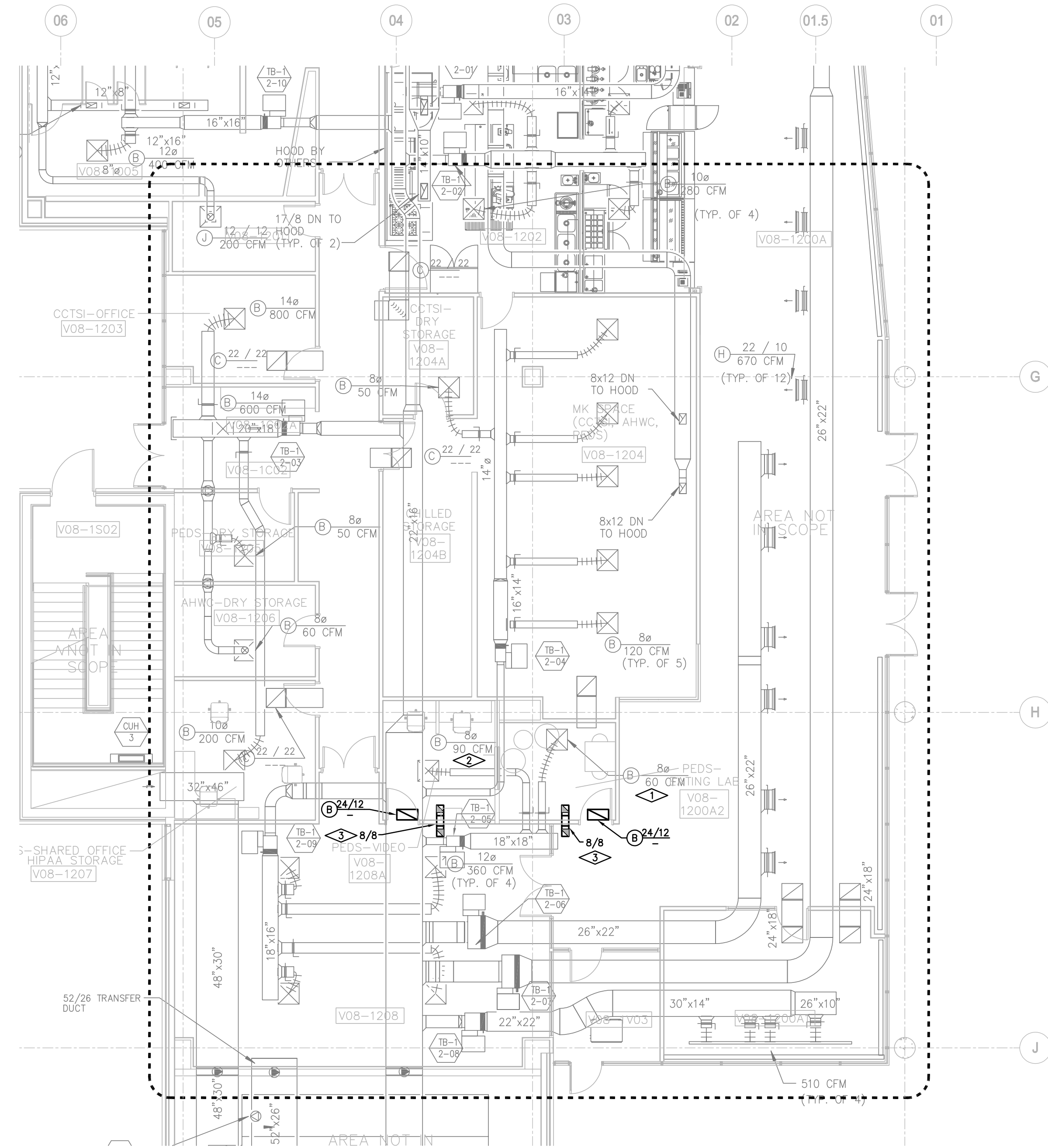
\_\_\_\_\_  
Signature



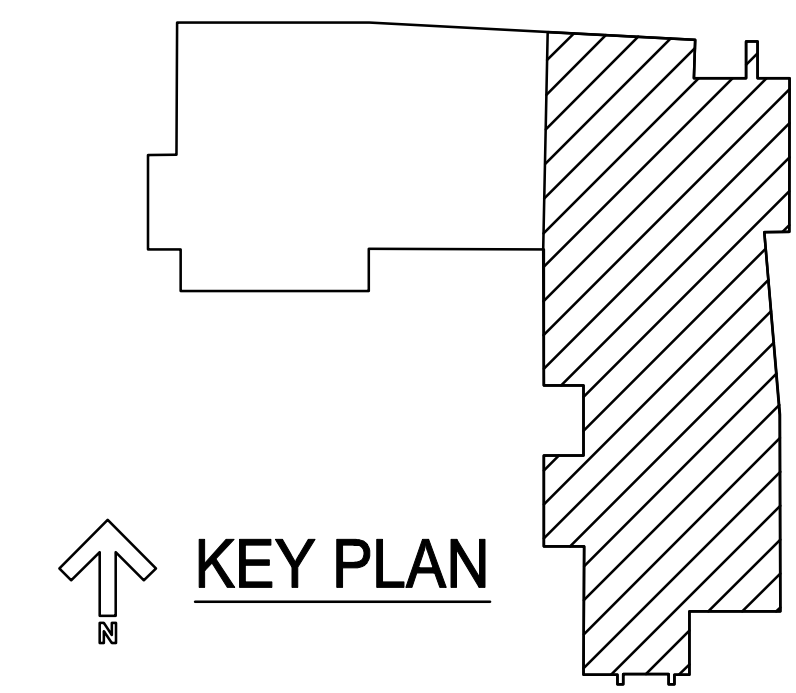
**PARTIAL LEVEL 1 HVAC PLAN**  
SCALE: 1/8"=1'-0"

**NEW KEY NOTES:**

1. BALANCE AIR QUANTITY OF EXISTING AIR DEVICE TO 110 CFM.
2. BALANCE AIR QUANTITY OF EXISTING AIR DEVICE TO 120 CFM.
3. TRANSFER DUCT TO BE INSTALLED ABOVE CEILING (I.E. IN PLENUM SPACE).
4. RIGID SHEET METAL DUCT SHALL BE USED FOR PENETRATION OF WALL. FINAL CONNECTION TO AIR DEVICE VIA FLEXIBLE DUCT.



**PARTIAL LEVEL 1 HVAC PLAN**  
SCALE: 1/8"=1'-0"



**KEY PLAN**

**CONSTRUCTION DOCUMENTS**

**CU ANSCHUTZ - AHCW METABOLIC KITCHEN**

**ARCHITECT**  
RDG Planning & Design  
3575 Regency Court  
Denver, CO 80216  
(720) 647-6571 Phone

**MECHANICAL/PLUMB**  
CATOR HUBA  
188 FAVORITE CIRCLE  
DENVER, CO 80202  
(303) 332-6000 Phone

**ANSCHUTZ HEALTH AND WELLNESS CENTER**

**CU ANSCHUTZ**

ACCORDANCE #1	07/09/2021
TYPE CONSTRUCTION DOCUMENTS	06/24/21
ISSUANCE	DATE
PROJECT NO.	3004.411.00

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**PARTIAL LEVEL 1 HVAC PLAN**

**M-101**



ARCHITECT  
MECHANICAL/PLUMB

ANSCHUTZ HEALTH AND WELLNESS CENTER

CU ANSCHUTZ

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**PARTIAL LEVEL 1 HVAC PLAN**

**M-101**